

**DOCUMENT 00 90 00  
ADDENDUM**

**ADDENDUM NO. [3]                      Date: February 20, 2019**

**RE:                      EAU CLAIRE AREA SCHOOL DISTRICT  
                              SECURE ENTRANCES  
                              LOCUST LANE  
                              MEADOWVIEW ELEMENTARY  
                              MEMORIAL HIGH SCHOOL  
                              SOUTH MIDDLE SCHOOL**

**EAU CLAIRE, WISCONSIN 54701  
HSR PROJECT NO. 18044**

**FROM:**                HSR Associates, Inc  
                              100 Milwaukee Street  
                              La Crosse, WI 54603  
                              (608) 784-1830

**To:**                    Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated January 2019. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of [4] pages, and [15] 30 x 42 drawings.

**CHANGES TO PREVIOUS ADDENDUM: Addendum 1**

1. Item 4: Sections 23 09 23 and 23 09 93 shall be deleted from Contract Documents as well since the Owner is soliciting a separate contract for control work. These sections are included for reference only.

**CHANGES TO SPECIFICATIONS:**

**2. LOCUST LANE**

- a. Section 08 43 13 ALUMINUM FRAMED STOREFRONT
  - i. 2.02, 3: Delete "Item and subsequent paragraphs. Finish shall be dark bronze anodized to match existing doors and windows.
  - ii. 2.04, C, 1: change 2 inches to 1 ¾ inches
  - iii. 2.06: Delete article. Finish as noted above.
- b. Section 08 80 00 GLAZING
  - i. 2.04, C, 3, a and D, 3, a: Delete "Pacifica" and change to "Solar Grey" to match existing glazing.
- c. Section 09 51 00 ACOUSTICAL CEILINGS
  - i. 2.02, B: Change "tegular" to "Square Edge".

**3. MEADOWVIEW ELEMENTARY**

- a. Section 09 51 00 ACOUSTICAL CEILINGS
  - i. 2.02, B: Change "tegular" to "Square Edge"

**4. MEMORIAL HIGH SCHOOL**

a. Section 09 51 00 ACOUSTICAL CEILINGS

i. 2.02, B: Change “tegar” to “Square Edge”.

b. Section 23 09 93 SEQUENCE OF OPERATIONS

i. 3.05 AIR HANDLING UNIT (AHU-1 & 2), G, 1: Change reference to DX cooling coil to “chilled water cooling coil.”

ii. 3.05 AIR HANDLING UNIT (AHU-1 & 2), G: Delete paragraph 2.

**5. SOUTH MIDDLE SCHOOL**

a. Section 08 71 00 DOOR HARDWARE

i. Add Groups 2 and 3 as follows:

**HARDWARE GROUP 2**

EACH SINGLE ALUM DOOR TO HAVE:

DR.1001-4, 1001-8

1 EA	ELECTRIC STRIKE	9600 630	HES
1 EA	SPACER	9600-108-630	HES
1 EA	AUTO OPERATOR	STANLEY MAGIC FORCE	STANLEY
2 EA	ACTUATORS	AS REQUIRE	STANLEY
1 EA	PWR SUPPLY	BY ACCESS CONTROL VENDOR	
1 EA	DR POSITION SWITCH	BY ACCESS CONTROL VENDOR IF REQ	
1 EA	CARD READER	BY ACCESS CONTROL VENDOR	

**REUSE ALL OTHER EXISTING HARDWARE**

**HARDWARE GROUP 3**

EACH SINGLE ALUM DOOR TO HAVE:

DR.1001-1, 1001-2, 1001-3, 1001-5, 1001-6, 1001-7

1 EA	ELECTRIC STRIKE	9600 630	HES
1 EA	SPACER	9600-108-630	HES
1 EA	PWR SUPPLY	BY ACCESS CONTROL VENDOR	
1 EA	DR POSITION SWITCH	BY ACCESS CONTROL VENDOR IF REQ	

**REUSE ALL OTHER EXISTING HARDWARE**

b. Section 09 51 00 ACOUSTICAL CEILINGS

i. 2.02, B: Change “tegar” to “Square Edge”.

c. Section 23 09 14 ELECTRIC INSTRUMENTATION AND CONTROL DEVICES FOR HVAC

i. 3.06 Owner Training: Delete Article. Provide instruction to Owner for operation of new digital thermostat.

d. Section 23 09 23 DIRECT DIGITAL CONTROL SYSTEMS

i. 3.03 Owner Training: Delete Article.

## CHANGES TO DRAWINGS

### 6. ALL 4 SCHOOLS:

- a. At Reflected Ceiling Plans, tile type ACT-2 should be “square edge”.

### 7. LOCUST LANE ELEMENTARY:

- a. Sheet A001R OVERALL FLOOR PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- b. Sheet A100R FLOOR PLANS 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- c. Sheet A101R CEILING PLAN ROOF PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
  - ii. Remove vapor retarder from roof system description.
- d. Sheet A300 SECTIONS, ELEVATIONS
  - i. Window detail 9/A300 metal transition applies to windows in rooms 201 and 202.
- e. Sheet A600R SCHEDULES 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- f. Sheet P100R UNDER FLOOR PLAN, NOTES AND SCHEDULES 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- g. Sheet P101R FIRST FLOOR PLUMBING PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- h. Sheet M101R DETAILS AND SCHEDULES 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- i. Sheet E100R ELECTRICAL PLANS 30 x 42 attached hereto.
  - i. Revisions clouded on Drawing
- j. Sheet E101R ELECTRICAL POWER PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing

### 8. MEMORIAL SCHOOL

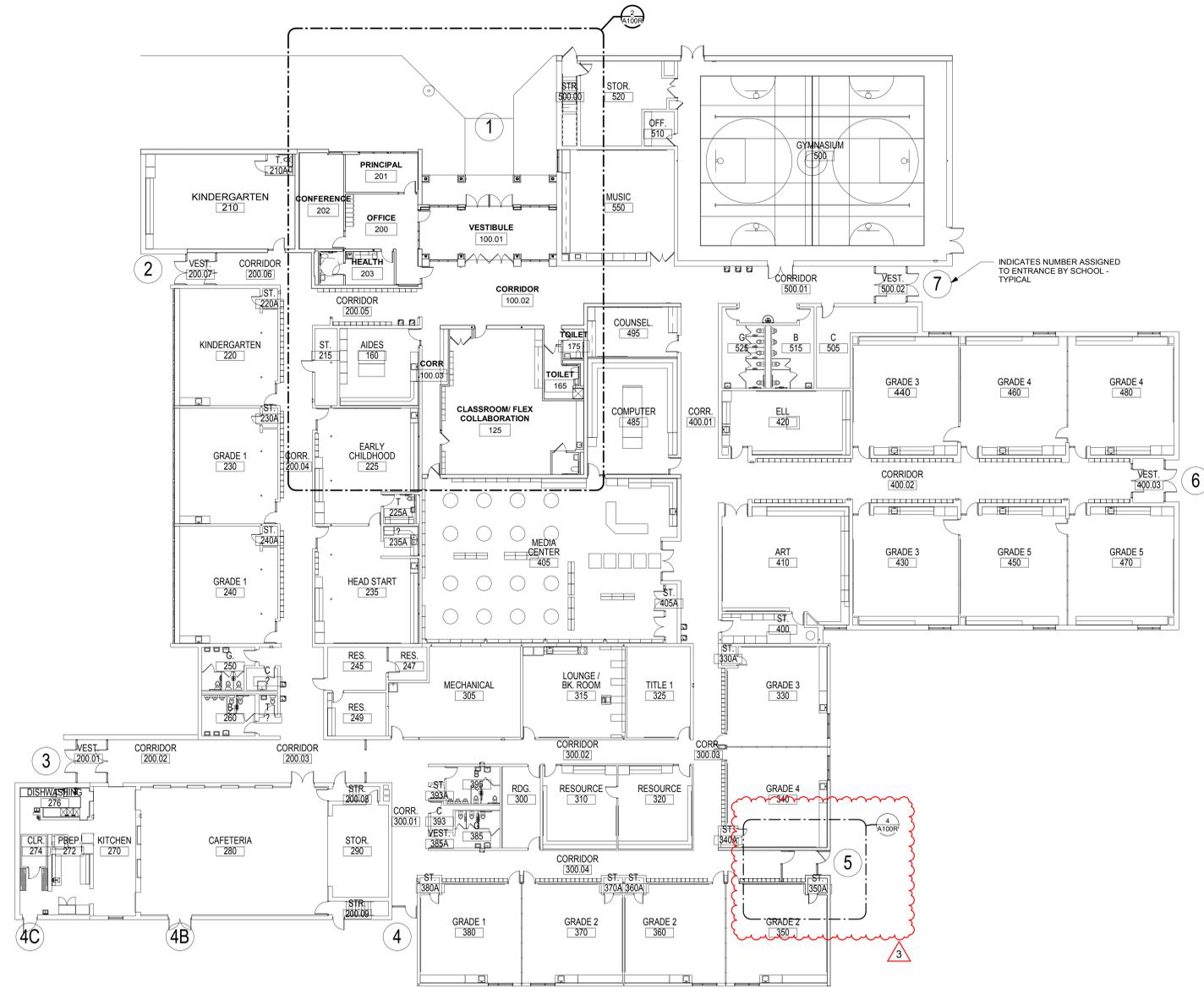
- a. Sheet A90R DEMOLITION PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- b. Sheet A100R FLOOR PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
- c. Sheet A101R ROOF PLAN 30 x 42 attached hereto
  - i. Revisions clouded on Drawing

- d. Sheet A600R WALL TYPES, STRUCTURAL 30 x 42 attached hereto
  - i. Revisions clouded on Drawing
  - ii. Ceiling detail 4/A600 metal transition applies to windows in room numbers 1952, 1979, 1977.
  
- e. Sheet M100R PARTIAL FIRST FLOOR HVAC REMODEL PLANS 30 x 42 attached hereto
  - i. Revisions clouded on Drawing.
  
- f. Sheet M101R PARTIAL FIRST FLOOR HVAC PIPING PLANS 30 x 42 attached hereto
  - i. Revisions clouded on Drawing.
  
- g. Sheet M500 HVAC SCHEDULES AND DETAILS
  - i. In the "AIR DISTRIBUTION DEVICES" schedule, change the size of grille G-8 from 12X8 to 14X10

**END OF DOCUMENT 00 90 00**



Consultant:



INDICATES NUMBER ASSIGNED TO ENTRANCE BY SCHOOL - TYPICAL

**1** OVERALL FLOOR PLAN  
1/16" = 1'-0"  
TRUE NORTH  
PLAN NORTH

EAU CLAIRE AREA SCHOOL DISTRICT  
LOCUST LANE ELEMENTARY SCHOOL  
SECURE ENTRANCE  
3245 LOCUST LANE  
EAU CLAIRE, WISCONSIN  
OVERALL FLOOR PLAN

Project Title:  
Project Location:

HSR Project Number: 18044

Project Date: JANUARY 2019

Drawn By: HSR

Key Plan:



Revisions:

No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
0' 4' 8' 16' 24'

Last Update: 2/20/2019 1:33:12 PM

**A001R**



No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
0 2' 4' 8' 12'

Last Update:  
2/20/2019 1:33:14 PM

**PLAN LEGEND:**

- (A) SYMBOL INDICATES WALL TYPE - SEE SHEET A600 FOR WALL TYPE DETAILS.
- (W) SYMBOL INDICATES WINDOW TYPE - SEE SHEET A600 FOR WINDOW FRAME ELEVATIONS.
- (F1) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET

**KEY NOTES PLAN**

- F1 INFILL OPENING W/ BRICK VENEER AND 4" CMU WALL. BRICK TO MATCH EXISTING. TOOTH IN BRICK AT JAMBS
- F2 FURNITURE CASEWORK I.I.C.
- F3 5" CONC. FLOOR SLAB - SEE STRUCTURAL
- F4 5" CONC. FLOOR STOOP - SEE STRUCTURAL
- F5 5" CONC. SIDEWALK
- F6 EXISTING SIDEWALK TO REMAIN
- F7 NEW POWER DOOR ACTUATOR PUSH BUTTON
- F8 EXISTING POWER DOOR ACTUATOR PUSH BUTTON
- F9 EXISTING CASEWORK TO REMAIN
- F10 PATCH CONC. FLOOR SLAB AT REMOVED ELECTRICAL FLOOR BOXES - SEE ELECTRICAL
- F11 PATCH CONC. FLOOR SLAB AS REQUIRED AT REMOVED STEEL COLUMN
- F12 RELOCATED KEY LOCK BOX
- F13 INFILL OPENING W/ CMU TO MATCH EXISTING. TOOTH IN MASONRY AT JAMBS-REMOVE EXISTING BULLNOSE CMU AT JAMB
- F14 RELOCATED WALL MOUNT MONITOR - SEE ELECTRICAL
- F15 BULLNOSE CMU SILL AT NEW WINDOW
- F16 REPAIR GYP BOARD WALL FINISH AT REMOVED PARTITION
- F17 REFER TO PLUMBING DRAWINGS FOR EXTENT OF WALL AND FLOOR PATCHING REQUIRED AT NEW PLUMBING WORK
- F18 TOP OF CONC. SLAB = 89'-11" 5/8". ALLOW 3/8" FOR NEW TILE TO MATCH EXISTING TILE FLOORING.
- F19 RELOCATED WALL MOUNT PROJECTION SCREEN
- F20 REPAIR GYP BOARD WALL FINISH AT REMOVED PARTITION
- F21 PATCH EXISTING CMU WALL AT REMOVED PARTITION
- F22 NEW COAT CUBBIES. TOTAL OF 16 REQUIRED. SEE 3/100.
- F23 PATCH EXISTING CMU WALL AS REQUIRED AT REMOVED CASEWORK.
- F24 INFILL OPENING AT REMOVED EXTINGUISHER CABINET WITH BRICK TO MATCH EXISTING. TOOTH IN BRICK AT JAMBS.
- F25 RELOCATED RECESSED FIRE EXTINGUISHER CABINET

**GENERAL NOTES-FLOOR PLAN:**

- A SEE ID SHEETS FOR FLOOR AND WALL FINISH LAYOUTS.
- B LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- C VERIFY EXACT SIZE AND LOCATION OF ALL MECHANICAL / PLUMB AND ELEC OPENINGS - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH AT ALL VISIBLE AREAS. ALL OPENING SHALL BE SEALED AFTER UTILITY INSTALLATION.
- D PAINT ALL EXPOSED STEEL LINTELS.
- E INSTALL BULLNOSE CMU AT ALL OUTSIDE CORNERS W/O TILE AND AT DOOR JAMBS AS DETAILED. NO BULLNOSE AT WINDOW JAMBS.
- F SEE STRUCTURAL FOR SLAB CONTROL JOINTS.
- G UNLESS NOTED OTHERWISE RESTROOM FLOORS SHALL BE SLOPED A MIN. 1/16" - 1/2" TO FLOOR DRAINS - TO "CENTER", IF NO FLOOR DRAINS.
- H EXTEND ALL WALLS TO DECK UNLESS NOTED OTHERWISE. DECK HEIGHT APPROX 11'-1" A.F.F. SEE A600 FOR TOP OF WALL DETAILS.
- I REMOVE INFILL OF EXISTING CMU WALLS TO BE "TOOTHED" IN TO MATCH ADJACENT RUNNING BOND PATTERN. PATCH WALL TO MATCH ADJACENT - TYPICAL.
- J NEW FACE BRICK IS FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
- K INSTALL TEAR-AWAY 1" BEAD WHERE GYP. BOARD ABUTS CMU OR DOOR/WINDOW FRAME.

**REMOVAL PLAN LEGEND:**

- (D1) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- (---) REMOVE ITEMS NOTED WITH DASHED LINES
- (---) SYMBOL INDICATES REMOVAL OF DOOR AND FRAME UNLESS NOTED OTHERWISE

**KEY NOTES REMOVAL**

- D1 REMOVE EXISTING CASEWORK. TURN OVER TO OWNER ALL ITEMS THEY DESIGNATE TO BE SALVAGED. PATCH EXISTING WALL SURFACE AS REQUIRED.
- D2 REMOVE EXISTING STUO PARTITION
- D3 SAWCUT OPENING IN MASONRY WALL FOR NEW WINDOW / DOOR - SEE REMOVAL PLAN FOR OPENING SIZE & LOCATION - SEE STRUCT DNG FOR NEW LINTEL. TOOTH IN MASONRY AT JAMBS & HEAD
- D4 REMOVE DOOR(S) & FRAME INCLUDING ANY SIDELITE & TRANSOM. SALVAGE DOORS & HARDWARE TO OWNER.
- D5 REMOVE ALUMINUM WINDOW
- D6 REMOVE EXISTING PLUMBING FIXTURE - SEE PLUMBING DRAWINGS
- D7 SAWCUT AND REMOVE EXISTING CONC. FLOOR SLAB
- D8 SAWCUT AND REMOVE EXISTING CONC. SIDEWALK
- D9 REMOVE EXISTING ENTRY VESTIBULE, INCLUDING FOUNDATION WALLS AND FOOTINGS, FLOOR SLAB, WALLS, ROOF AND ROOF FRAMING.
- D10 REMOVE EXISTING ENTRY CANOPY, INCLUDING PIERS AND FOOTINGS, MASONRY COLUMNS, STEEL FRAMING, ROOF AND ROOF STRUCTURE.
- D11 REMOVE EXISTING STEEL COLUMN AND STEEL SUPPORT BEAM FOR FOLDING PARTITION.
- D12 REMOVE EXISTING POWER DOOR ACTUATOR PUSH BUTTON
- D13 REMOVE EXISTING CARPET FLOORING AND VINYL BASE
- D14 REMOVE EXISTING SHEET FLOORING AND VINYL BASE
- D15 REMOVE EXISTING CERAMIC TILE FLOORING
- D16 REMOVE EXISTING AC TILE CEILING AND SUSPENSION SYSTEM, CEILING MOUNT LIGHTS AND FIXTURES, HVAC GRILLES AND RETURNS. COORDINATE WITH ELECTRICAL AND MECHANICAL DRAWINGS
- D17 REMOVE EXISTING LANDSCAPE BED MATERIAL AS NEEDED TO ACCOMPLISH WORK
- D18 REMOVE/RELOCATE EXISTING WALL MOUNT MONITOR. RELOCATE TO ROOM 200. SEE ELECTRICAL.
- D19 REMOVE EXISTING MASONRY PARTITION
- D20 REMOVE EXISTING KEY LOCK BOX. SALVAGE FOR REINSTALLATION
- D21 SEE PLUMBING DRAWINGS FOR EXTENT OF WALL AND FLOOR DEMOLITION REQUIRED FOR PLUMBING WORK
- D22 REMOVE EXISTING PLASTER CEILING AND FRAMING
- D23 SAWCUT OPENING IN MASONRY WALL FOR NEW DUCTWORK - SEE MECHANICAL PLAN FOR OPENING SIZE & LOCATION - SEE STRUCTURAL FOR NEW LINTEL
- D24 REMOVE/RELOCATE EXISTING WALL MOUNTED PROJECTION SCREEN. REINSTALL IN ROOM 202.
- D25 REMOVE/RELOCATE EXISTING CEILING MOUNT PROJECTOR - SEE ELECTRICAL
- D26 REMOVE/RELOCATE EXISTING CEILING MOUNT PROJECTION SCREEN. REINSTALL IN ROOM 125.
- D27 REMOVE/RELOCATE EXISTING RECESSED FIRE EXTINGUISHER CABINET
- D28 EXISTING LOCKERS TO BE REMOVED BY OWNER
- D29 PROVIDE OPENING IN EXISTING BRICK CMU WALL FOR RELOCATED RECESSED FIRE EXTINGUISHER CABINET
- D30 REMOVE EXISTING TAGGABLE SURFACE. PATCH EXISTING WALL SURFACE AS REQUIRED.
- D31 REMOVE EXISTING COUNTERTOP AND BACKSPLASH

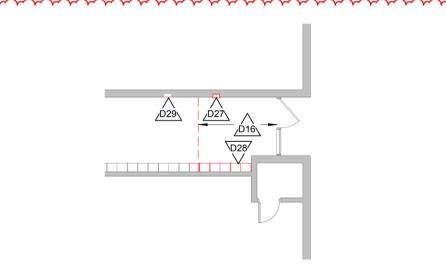
**GENERAL NOTES-REMOVAL:**

- A ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED. REFERENCE MEP SHEETS FOR ALL EQUIPMENT REMOVALS AND INSTALLATIONS. TIME AND METHODS SHALL BE COORDINATED WITH AND AGREED TO BY THE OWNER AND ARCHITECT. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE AND CAP MEP AS REQUIRED. DO NOT ABANDON IN PLACE UNUSED CONDUIT, PIPE, ETC. REMOVE COMPLETELY. VERIFY GENERAL CONDITIONS IN FIELD PRIOR TO BIDDING.
- B PREPARATION FOR NEW FINISHES SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC., PATCHING OF HOLES AND CRACKS TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION. PREPARATION FOR NEW FINISH IS REQUIRED AT WALLS, FLOORS, CEILINGS AND ANY AREAS DAMAGED BY REMOVAL/DEMOLITION.
- C OWNER WILL REMOVE LOOSE FURNISHINGS AND EQUIPMENT FROM THE WORK AREA PRIOR TO START OF CONSTRUCTION.
- D DELIVERY ROUTE AND TIMES FOR NEW MATERIALS AND EQUIPMENT SHALL BE COORDINATED WITH AND AGREED TO BY THE OWNER.
- E MAINTAIN ALL EXIT DOORS AND CORRIDORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE AWAY FROM THE BUILDING. COORDINATE WITH LOCAL FIRE MARSHAL AS REQUIRED.
- F ROOM NUMBERS ARE SHOWN ON THIS PLAN FOR INFORMATIONAL AND COORDINATE PURPOSES ONLY.
- G TEMPORARY UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. ENSURE ADEQUATE LIGHTING, ETC. ALL REQUIRED SERVICES TO OTHER PARTS OF THE BUILDING SHALL BE MAINTAINED. COORDINATE ANY REQUIRED SHUTDOWNS OF POWER, COMMUNICATIONS, WATER, WASTE, HEATING OR VENTILATING WITH THE OWNER A MIN. OF 72 HOURS IN ADVANCE.
- H CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. AS REQUIRED FOR THE WORK.
- I SEE MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REMOVAL NOTES AND ITEMS.
- J COORDINATE REMOVAL AND PATCHING WITH MEP DRAWINGS. PATCH TO MATCH EXISTING ADJACENT CONDITIONS.
- K BIDDERS SHALL MAKE EVERY EFFORT TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. INSPECTION HOLES, ETC. CAN BE COORDINATED WITH THE OWNER.
- L COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT, ACCESSORIES, ETC. WITH THE OWNER. SALVAGED ITEMS SHALL BE PLACED AT A COMMON LOCATION INDICATED BY OWNER.
- M CONTRACTOR TO INSTALL AND MAINTAIN A DUST ENCLOSURE FOR REMOVAL AND NEW CONSTRUCTION WORK.
- N PROVIDE FLOOR PROTECTION AS SPECIFIED AT DEBRIS REMOVAL PATHS THROUGH BUILDING.

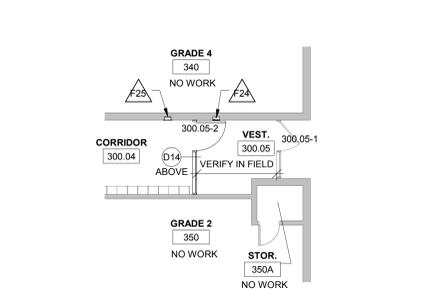


EXISTING COAT CUBBIES - NEW CUBBIES IN ROOM 125 TO MATCH THESE.

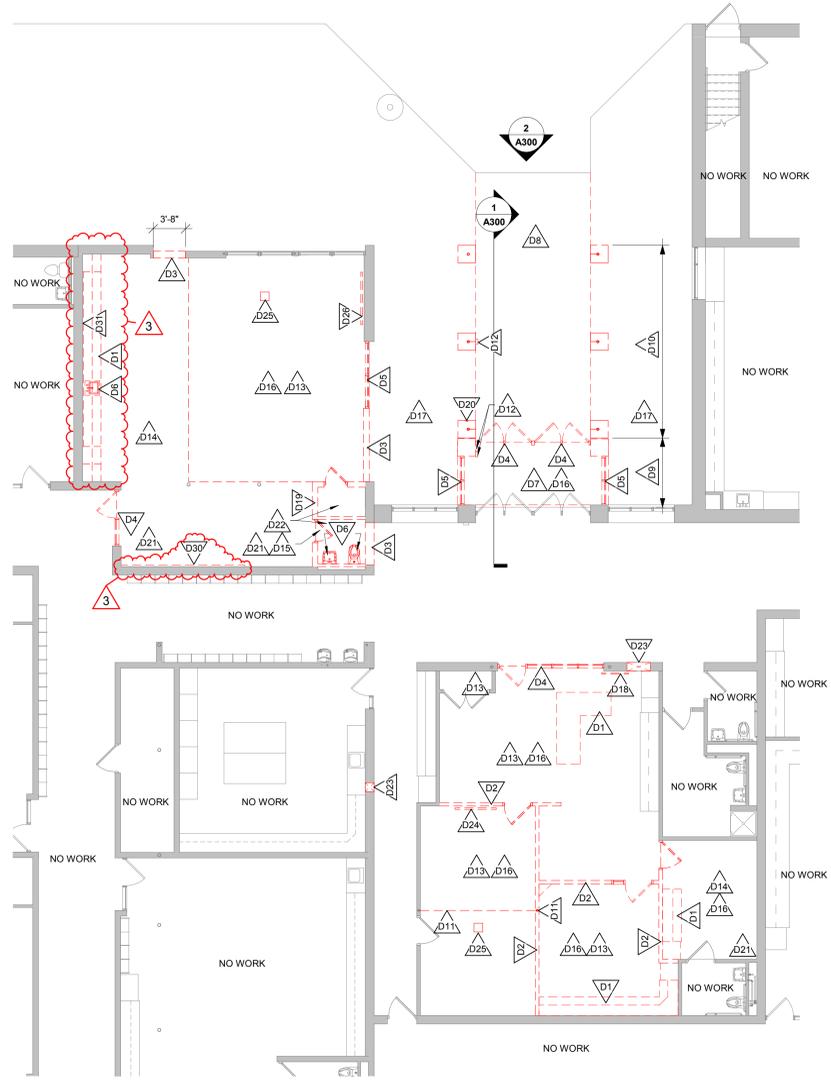
**3 COAT CUBBIES**  
12" = 1'-0"



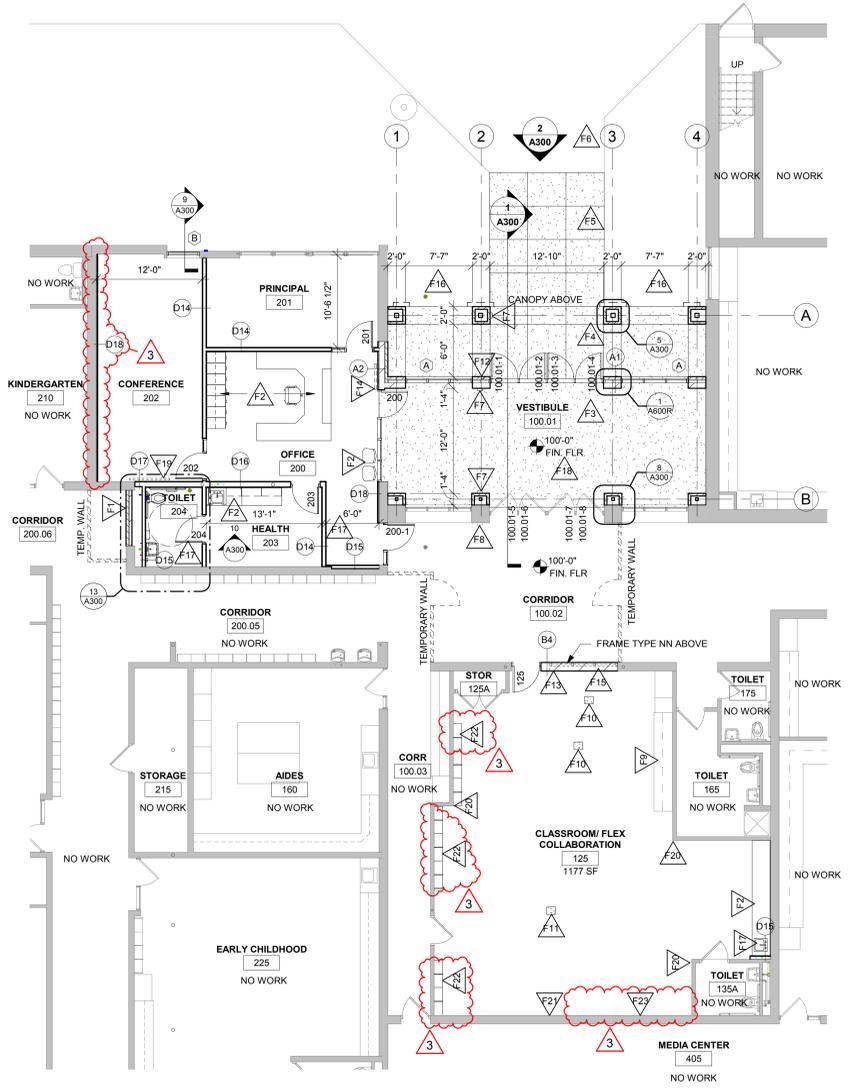
**5 DEMOLITION PLAN-EXIT 5**  
1/8" = 1'-0"



**4 FLOOR PLAN-EXIT 5**  
1/8" = 1'-0"



**1 DEMOLITION PLAN-ENTRY**  
1/8" = 1'-0"



**2 FLOOR PLAN-ENTRY**  
1/8" = 1'-0"

**GENERAL NOTES-CEILING:**

- REFER TO MECHANICAL AND PLUMBING CEILING ACCESS PANEL LOCATIONS & SIZES.
- SEE MECHANICAL FOR CEILING GRILLE INFORMATION
- SEE ELECTRICAL FOR LIGHTING TYPES
- ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL WITH NEOPRENE FILLER. IN GYPSUM PARTITIONS SEE SPECIFICATION FOR LEVEL OF FINISH ABOVE FINISHED CEILING.
- ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED.
- WHERE NO CEILING/EXPOSED STRUCTURE UNLESS NOTED OTHERWISE. CONTRACTOR SHALL KEEP ALL MEP ABOVE OR EVEN WITH THE LEVEL OF THE LIGHTS. MEP SHALL RUN IN NEAT ORDERLY APPEARANCE. GENERALLY PARALLEL OR PERPENDICULAR TO FINISHED STRUCTURE. WALLS IN THESE ROOMS TO RUN TO DECK AND ALL STRUCTURE / MEP COMPONENTS ARE TO BE PAINTED.
- ALL EXTERIOR EXPOSED STEEL LINTEL/HEADERS SHALL BE GALVANIZED, PRIMED AND PAINTED UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR DESIGN SHEETS FOR OTHER FINISHES
- HANGERS AND SUPPORTS: MECHANICAL, PLUMBING, ELECTRICAL AND OTHER CABLING CONTRACTORS SHALL NOT HANG OR SUPPORT THE WORK FROM THE ROOF DECK IN ANY FASHION. CONDUIT RUNS SHALL NOT BE LAID ON ROOF DECK NOR LAID ON THE STRUCTURAL SUPPORT THAT SUPPORTS THE ROOF DECK. NO FASTENERS SHALL PENETRATE ROOF DECK BY ANY TRADE OTHER THAN THE ROOFING CONTRACTOR FOR THE NEW ROOF SYSTEM.
- CONFIRM EXACT LOCATION OF OVERHEAD PROJECTORS AND OTHER CEILING MOUNTED EQUIPMENT WITH OWNER / MANUFACTURER PRIOR TO INSTALLATION. SEE EQUIPMENT PLANS FOR ADDITIONAL EQUIPMENT.
- CEILING TYPES INSTALLED AS NOTED ON PLANS. SEE SPECIFICATIONS FOR ADDITIONAL SYSTEM INFORMATION.  
**ACT-2**=REGULAR EDGE. **ACT-3**=VINYL FACED GYP

**CEILING LEGEND:**

-  SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
-  LIGHT FIXTURE - SEE ELECTRICAL
-  LIGHT FIXTURE - SEE ELECTRICAL
-  LIGHT FIXTURE - SEE ELECTRICAL
-  LIGHT FIXTURE - SEE ELECTRICAL
-  SPEAKER - SEE ELECTRICAL
-  SUPPLY - SEE MECHANICAL
-  RETURN - SEE MECHANICAL
-  EXHAUST - SEE MECHANICAL
-  RADIANT HEATER - SEE MECHANICAL
-  CEILING ACCESS PANEL - SEE SPECIFICATIONS

**KEY NOTES RCP**

- 12" WIDE FLUSH METAL SOFFIT PANELS AND SUSPENSION SYSTEM
- PATCH WALL AS REQUIRED AT REMOVED CASEWORK SOFFIT
- REMOVE/REINSTALL EXISTING CEILING TILE AS SUSPENSION GRID AS REQUIRED FOR INSTALLATION OF NEW DUCTWORK - SEE MECHANICAL
- RELOCATED CEILING MOUNT PROJECTION SCREEN
- RELOCATED CEILING MOUNT PROJECTOR - SEE ELECTRICAL
- EXISTING CASEWORK SOFFIT TO REMAIN
- REMOVE/REINSTALL CEILING TILE AND SUSPENSION SYSTEM AT NEW WALLFRAME AS REQUIRED
- EXISTING RELIEF GRILLE TO REMAIN

**GENERAL ROOF NOTES:**

- SEE ROOF SYSTEM NOTES FOR MINIMUM AND AVERAGE INSULATION VALUES
- VERIFY ROOF EQUIPMENT AND PENETRATIONS WITH ALL TRADES. EQUIPMENT SHOWN IS GRAPHIC ONLY.
- ALL METAL ITEMS AT ROOF TOPS, UNLESS REQUIRED OTHERWISE BY EQUIPMENT MANUFACTURER, SHALL BE PAINTED TO MATCH OTHER TRIM BY THE G.C. - PREPARE, PRIME AND PAINT AS REQUIRED. PROVIDE FACTORY PRIMED PRODUCTS WHERE POSSIBLE.
- ROOF PENETRATIONS FOR DRAINS, VENTS, ETC. SHALL BE COMPLETED AS PER CURRENT SMACNA REQUIREMENTS AND THE ROOF MANUFACTURERS APPROVED DETAILS FOR WARRANTY SATISFACTION. COORDINATE QUANTITY AND LOCATIONS WITH MEP CONTRACTOR. PROVIDE CURBS WHERE REQUIRED.
- ALL METAL ROOF AND FLASHING, SHALL MEET CURRENT SMACNA REQUIREMENTS AND MANUFACTURERS SPECIFIED WARRANTY.
- WHERE MEMBRANE IS SHOWN OVER TOP OF WALL EXTEND DOWN OPPOSITE SIDE AND SECURE TO BLOCKING.
- TOP OF WALL BLOCKING SHOWN IS GRAPHIC. PROVIDE BLOCKING THAT SHALL BE ANCHORED TO WALL BELOW AS RECOMMENDED BY ROOFING SYSTEM MANUFACTURER TO WITHSTAND WIND UPLIFT, AS STATED IN CODE. TOP OF WALLS SHALL SLOPE TOWARDS ROOF.
- INSTALL BOND BREAK BETWEEN ALL WOOD BLOCKING AND CMU OR CONCRETE.

**ROOF SYSTEM DESCRIPTIONS:**

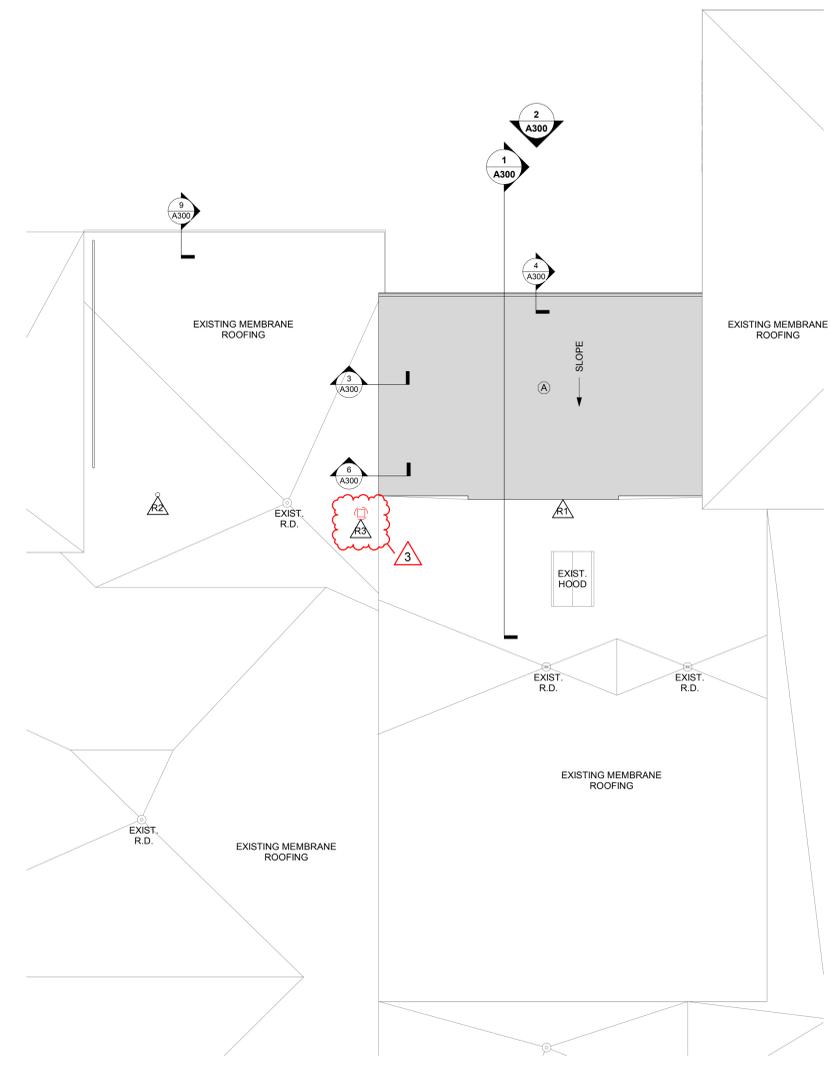
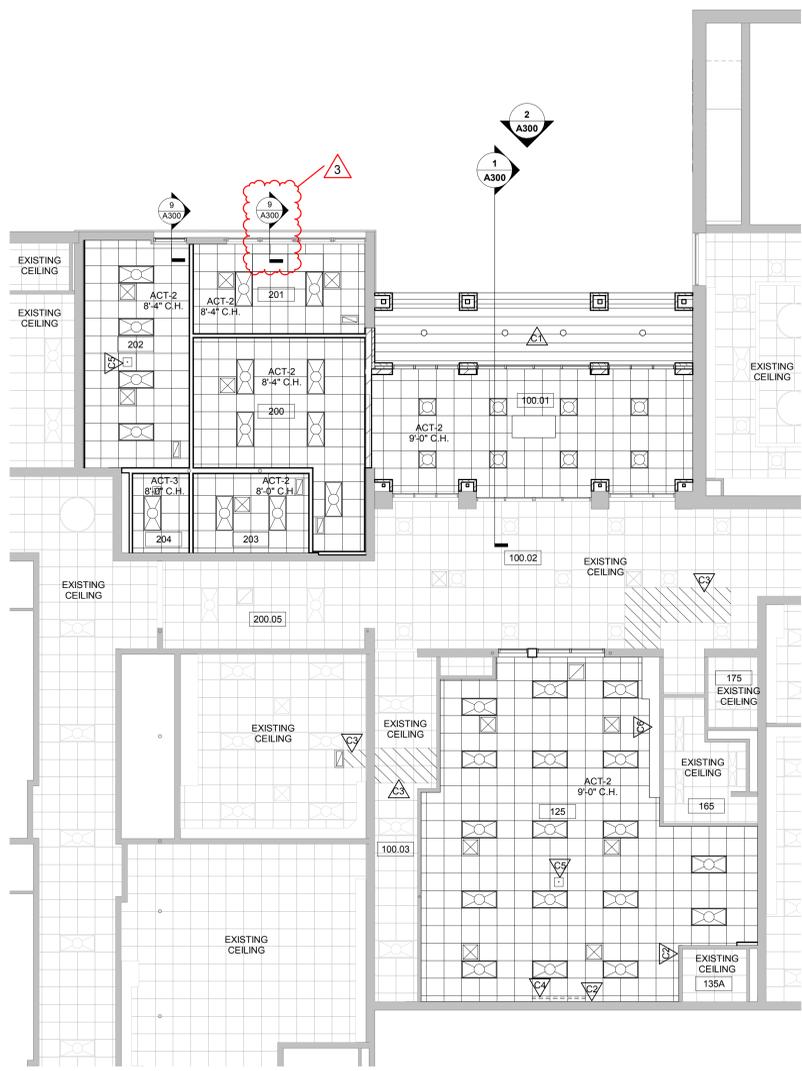
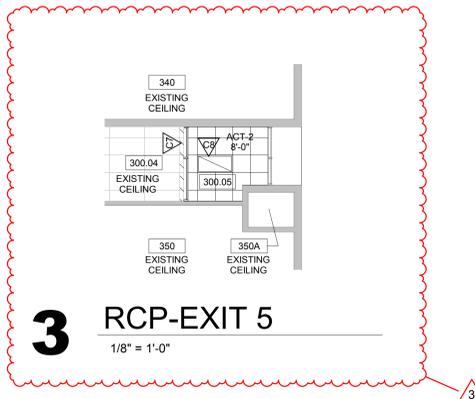
- ADHERED: SINGLE MEMBRANE ROOFING SYSTEM ON 6" (R + 34.2) POLYISOCYANURATE INSULATION SYSTEM CONSISTING OF 2 LAYERS @ 3" EACH - STAGGERED JOINTS. INSTALL INSULATION ON SLOPED STRUCTURAL METAL DECK.

**ROOF EQUIPMENT LEGEND:**

-  AIR COOLED CONDENSING UNIT-SEE MECHANICAL.
-  INTAKE VENT HOOD-SEE MECHANICAL.
-  EXHAUST VENT HOOD-SEE MECHANICAL.
-  AIR INTAKE/EXHAUST VENT-SEE MECHANICAL.
-  PLUMBING VENT-SEE PLUMBING.

**KEY NOTES ROOF**

- TIE NEW MEMBRANE ROOF INTO EXISTING MEMBRANE ROOF. VERIFY AND MATCH EXISTING INSULATION THICKNESS.
- EXHAUST VENT - SEE MECHANICAL. PROVIDE OPENING IN EXISTING MEMBRANE ROOF AND INSTALL PIPE FLASHING BOOT.
- EXHAUST VENT TO BE REMOVED - SEE MECHANICAL. FILL ROOF OPENING WITH INSULATION, AND INSTALL PREFINISHED METAL CAP OVER EXISTING CURB.



Revisions:

No.	Description	Date
3	ADDENDUM #3	2/20/2019



Consultant:

Project Title:  
Project Number:  
Project Date:  
Drawn By:  
Key Plan:

HSR Project Number:  
**18044**  
Project Date:  
**JANUARY 2019**  
Drawn By:  
**HSR**

Key Plan:

No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
**VARIES**  
Last Update:  
**2/20/2019 10:07:22 AM**

**A600R**

DOOR NO.	DOOR SIZE			DOOR MAT'L	DOOR TYPE	GLASS TYPE	U-CUT OR LOUVER	FRAME MAT'L	FRAME ELEV	DEPTH	FRAME DETAILS				FIRE LABEL	HWD GROUP	SIGNAGE	REMARKS
	W	H	T								HEAD	JAMB	SILL					
100-01-1	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12		ALUM	LL	6"	1A600	2A600						1, 2
100-01-2	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12		ALUM	LL	6"		2A600						2
100-01-3	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12		ALUM	LL	6"		2A600						2
100-01-4	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12		ALUM	LL	6"	1A600	2A600						2
100-01-5	3'-0"	6'-10"	1-3/4"	EXISTING				EXISTING										1, 2
100-01-6	3'-0"	6'-10"	1-3/4"	EXISTING				EXISTING										4
100-01-7	3'-0"	6'-10"	1-3/4"	EXISTING				EXISTING										4
100-01-8	3'-0"	6'-10"	1-3/4"	EXISTING				EXISTING										4
100-01-9	2'-4"	6'-10"	1-3/4"	SCWD	A			HM	AA									7
129	3'-0"	6'-10"	1-3/4"	SCWD	A			HM	KK	5-3/4"	5A600	5A600						5
200	3'-0"	6'-10"	1-3/4"	SCWD	E	GLT-8		HM	MM	5-3/4"	5A600	5A600						3
200-1	3'-0"	6'-10"	1-3/4"	SCWD	E	GLT-4		HM	JJ	5-3/4"	5A600	5A600						6
201	3'-0"	6'-10"	1-3/4"	SCWD	A			HM	JJ	6-5/8"	4A600	4A600						7
202	3'-0"	6'-10"	1-3/4"	SCWD	A			HM	JJ	6-5/8"	4A600	4A600						7
203	3'-0"	6'-10"	1-3/4"	SCWD	A			HM	AA	9"	4A600	4A600						7
204	3'-0"	6'-10"	1-3/4"	SCWD	A			HM	AA	9"	4A600	4A600						7
300-05-1	3'-4"	7'-0"	1-3/4"	EXISTING	E			EXISTING										5
300-05-2	3'-4"	7'-0"	1-3/4"	HM	E	GLT-4		HM	PP	6-5/8"	4A600 SIM	4A600						5

**DOOR SCHEDULE GENERAL NOTES**

HM = HOLLOW METAL    IHM = INSULATED HOLLOW METAL    SCWD = SOLID CORE WOOD DOOR

A. SEE SPECIFICATIONS FOR DOOR HARDWARE GROUPS  
 B. ALL HM (HOLLOW METAL) AND IHM (INSULATED HOLLOW METAL) DOORS AND FRAMES SHALL BE PAINTED  
 C. ALL DOUBLE DOORS TO HAVE TWO EQUAL LEAFS UNLESS NOTED OTHERWISE

**DOOR TYPES**

**DOOR SCHEDULE REMARKS**

- ELECTRONIC CARD ACCESS AND ELECTRIC STRIKE REQUIRED.
- POWER ACTUATED
- PUSH BUTTON CONTROL FOR OFFICE ENTRY ELECTRIC STRIKE

**DOOR FRAME GENERAL NOTES**

HM = HOLLOW METAL    IHM = INSULATED HOLLOW METAL

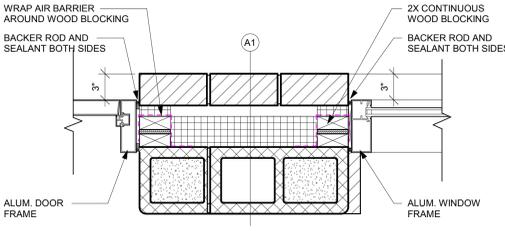
A. ALL HM (HOLLOW METAL) AND IHM (INSULATED HOLLOW METAL) FRAMES SHALL BE PAINTED.

**DOOR FRAME TYPES**

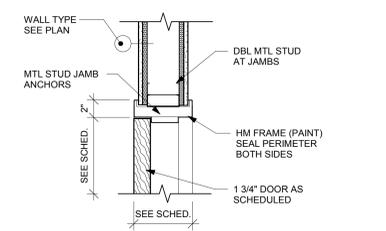
**WINDOW TYPES**

**GENERAL WALL TYPE NOTES:**

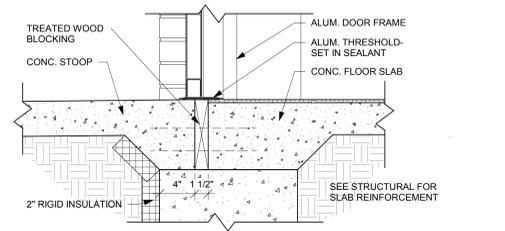
- REFER TO MASTER COLOR SCHEDULE AND INTERIOR DESIGN SHEETS FOR ADDITIONAL WALL FINISHES.
- WHERE INTERIOR DESIGN SHEETS INDICATE WALL TILE, INSTALL BACKER BOARD AT WET AND NON-WET LOCATIONS AS LISTED IN 09 21 16.
- NON RATED WALLS, INCLUDING BULKHEADS SHALL HAVE FRAMING EXTENDED TO DECK ABOVE. GYP BOARD SHALL EXTEND TO 4" ABOVE CEILING UNLESS NOTED OTHERWISE. COLUMN FURRING MAY STOP 4" ABOVE CEILING.
- EXTEND STUDS, GYP BOARD AND SOUND BLANKET TO DECK ABOVE AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING). LEVEL OF FINISH ABOVE CEILING AS NOTED IN SECTION 09 21 16.
- AT SOUND CONTROL WALLS INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING) APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT FLOOR/CEILING TRACK STUDS AND STUD AT WALL. APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT PERIMETER OF GYP BOARD HOLDING EDGE OF GYP BOARD AWAY FROM ADJACENT STRUCTURE NO MORE THAN 3/8". SEAL ALL WEIR/PENETRATIONS WITH SOUND BLANKET, BACKING, ACOUSTICAL SEALANT AND FIRE STOPPING AFTER INSTALLING ONE SIDE OF GYP BOARD. APPLY OVERSIZED 2" SOUND BLANKET OVER BACK SIDE OF ELECTRICAL BOXES AND SIMILAR PENETRATIONS WHERE WALL BOXES OCCUR AT OPPOSITE SIDES. APPLY INSULATION TO BACKSIDE OF WALL BOXES. AT FIRE RATED WALLS REQUIRING SOUND CONTROL, USE PUTTY PADS FOR REQUIRED WALL RATING. REFER TO TOP OF WALL DETAILS FOR INSTALLATION OF ADDITIONAL MATERIALS AT DECK AND APPLICATION OF RATED TOP OF WALL ASSEMBLIES.
- INSTALL GYPSUM BOARD CONTROL JOINTS AT TOP OF ALL INTERIOR TOP OF DOOR JAMBS TO TOP OF GYPSUM BOARD WALLS. OTHER CONTROL JOINTS TO BE INSTALLED PER PLAN OR AT 30'-0" O.C. MAX. REVIEW LOCATION REQUIREMENTS WITH A/E PRIOR TO START OF INSTALLATION OF GYPSUM BOARD ASSEMBLIES.



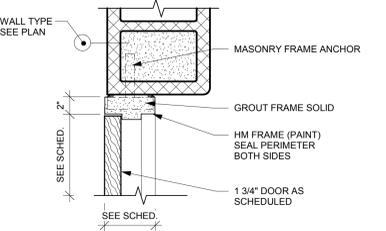
**1 DOOR/WINDOW DETAIL**  
1 1/2" = 1'-0"



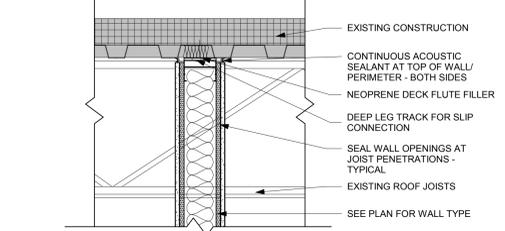
**4 DOOR FRAME DETAIL**  
1 1/2" = 1'-0"



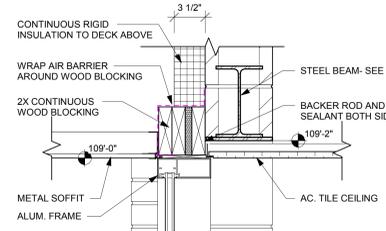
**2 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



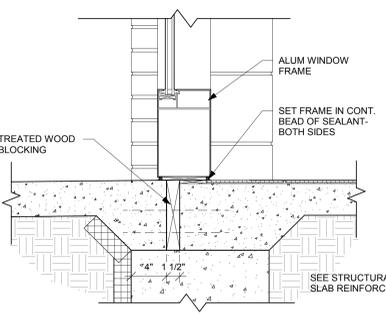
**5 DOOR FRAME DETAIL**  
1 1/2" = 1'-0"



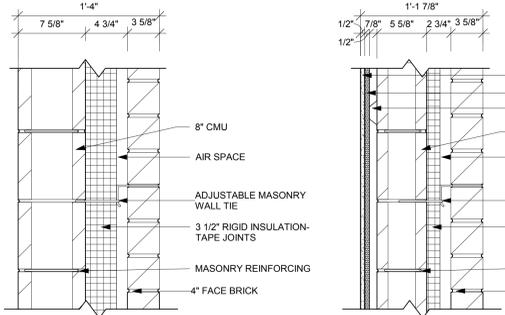
**3 WALL DETAIL**  
1 1/2" = 1'-0"



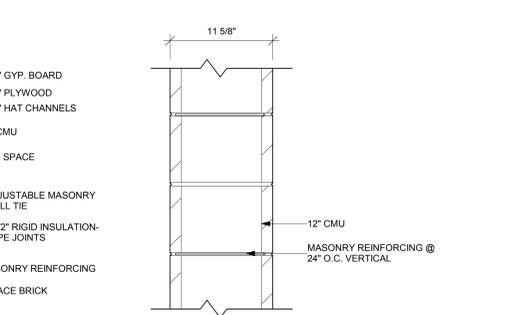
**6 WINDOW HEAD DETAIL**  
1 1/2" = 1'-0"



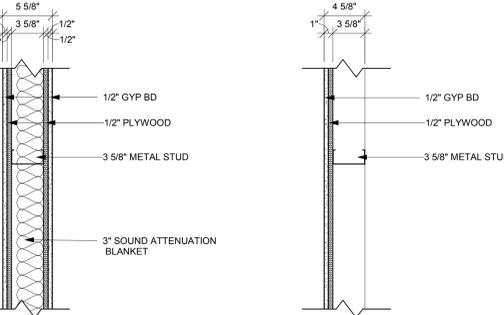
**7 WINDOW SILL DETAIL**  
1 1/2" = 1'-0"



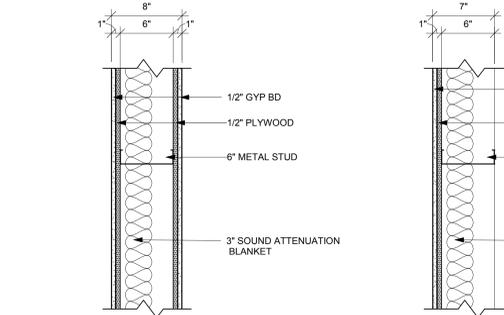
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	R-VALUE	NOTES
A1	1'-4"	1'-4"	1'-4"			



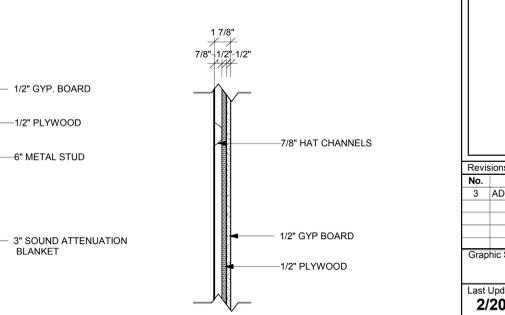
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	R-VALUE	NOTES
A2	16" O.C.	1'-1 7/8"	1'-2"			



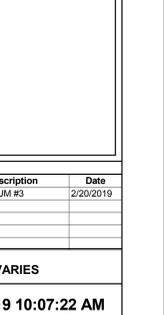
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
B4	11 5/8"	12"				



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D14	16" O.C.	5 5/8"	5 5/8"			52



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D15	16" O.C.	4 5/8"	4 5/8"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D16	16" O.C.	8"	8"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D17	16" O.C.	7"	7"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D18	16" O.C.	1 7/8"	2"			

PLUMBING SHEET INDEX	
P100R	UNDERFLOOR PLAN, NOTES, AND SCHEDULES
P101R	FIRST FLOOR PLUMBING PLAN

FIXTURE UNIT SUMMARY										
FIXTURE SYMBOL	FIXTURE DESCRIPTION	COUNT	PIPE SIZE				FIXTURE UNITS			
			WASTE	VENT	CW	HW	DFU	CWFU	HWFU	
HYD-1	EXTERIOR WALL HYDRANT	1			3/4"			0	3	0
L-1	LAVATORY - WALL HUNG - ADA	1	1 1/2"	1 1/2"	1/2"	1/2"		1	0.5	0.5
S-1	SINK - SINGLE	2	1 1/2"	1 1/2"	1/2"	1/2"		2	1	1
WC-1	WATER CLOSET - FLOOR MOUNT - ADA	1	4"	2"	1"			4	10	0
Grand total:		5						7	14.5	1.5

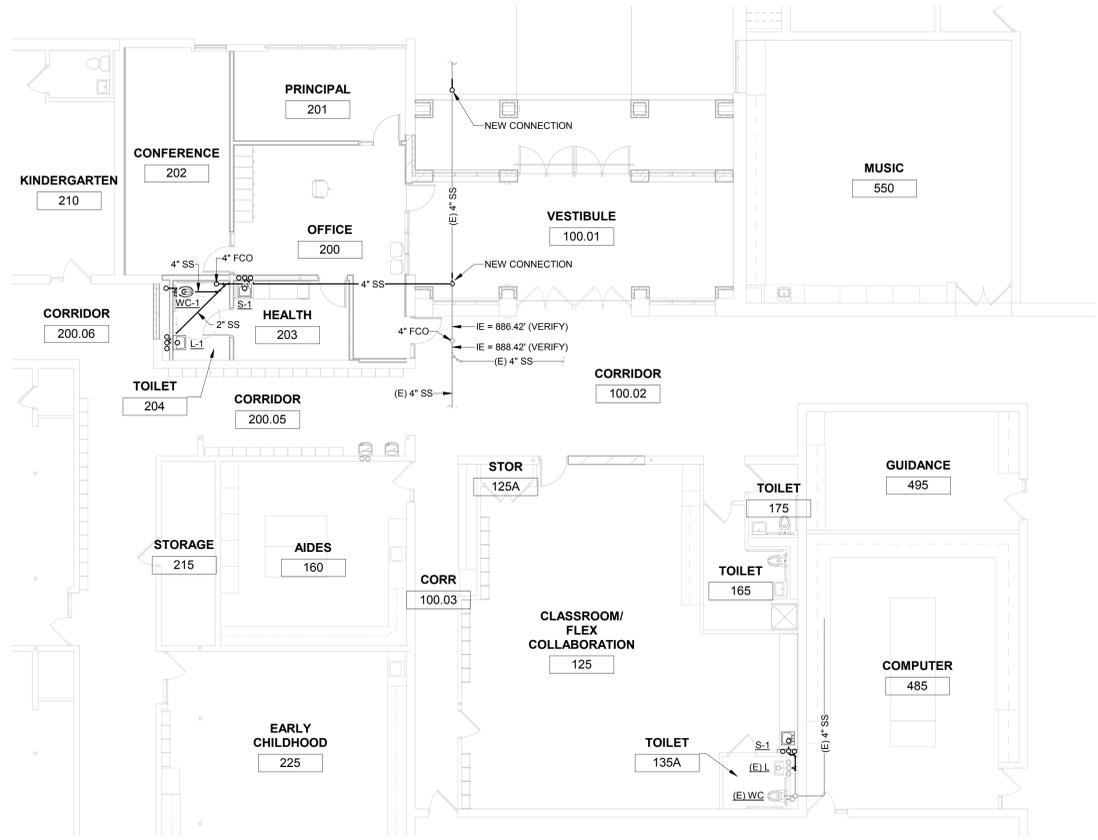
PLUMBING FIXTURE SCHEDULE									
FIXTURE SYMBOL	DESCRIPTION	Count	SANITARY		COLD WATER		HOT WATER		
			DFU	SIZE	CWSFU	SIZE	HWSFU	SIZE	
HYD-1	EXTERIOR WALL HYDRANT	1	0		3	3/4"		0	
L-1	LAVATORY - WALL HUNG - ADA	1	1	1 1/2"	0.5	1/2"	0.5	1/2"	
S-1	SINK - SINGLE	2	1	1 1/2"	0.5	1/2"	0.5	1/2"	
WC-1	WATER CLOSET - FLOOR MOUNT - ADA	1	4	4"	10	1"		0	

PLUMBING AND PIPING SYMBOLS		
---H-CW---	DOMESTIC COLD WATER-HARD	
---CHW---	DOMESTIC HOT WATER-CIRCULATING	
---SS---	SANITARY SEWER	
---V---	SANITARY VENT	

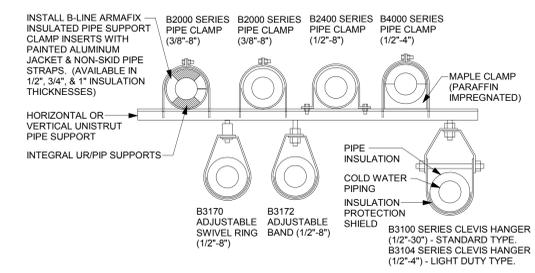
FIXTURE SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL DESCRIPTION	MANUFACTURER	MODEL NO.	FINISH	TYPE	MOTION SENSOR CONTROL	FLOW	PIPE CONNECTIONS		COMMENTS
											FLOW	DIAMETER	
HYD-1	EXTERIOR WALL HYDRANT	WOODFORD	67	STAINLESS STEEL			CHROME	ELECTRONIC	Yes	2.5 GPM	3/4"		NON-FREEZE TYPE WALL HYDRANT, WITH DOUBLE CHECK BACKFLOW PREVENTER, VALVE ON THE INSIDE OF THE WALL, SPOUT WITH BACKFLOW PREVENTER, AND LOOSE KEY SOCKET ON THE OUTSIDE OF THE WALL. MAKE ARRANGEMENTS WITH THE GENERAL CONTRACTOR TO PROVIDE THE NECESSARY RECESS IN THE WALL WHERE A RISER TO A WALL HYDRANT OCCURS IN AN OUTSIDE WALL. THE CONTRACTOR SHALL INSULATE THE CHASE WITH 2" STYROFOAM INSULATION ON ALL SIDES OF THE CHASE, EXCEPT THE INSIDE WALL OF THE CHASE. PROVIDE SHUTOFF VALVE IN ACCESSIBLE LOCATION.
L-1	LAVATORY - WALL HUNG - ADA	KOHLER	K-2005	WHITE VITREOUS CHINA	SLOAN	SF-2350	CHROME	ELECTRONIC	Yes	0.5 GPM	1/2"	1/2"	WALL HUNG LAVATORY WITH BACKSPASH, FAUCET HOLES ON 4" CENTERS. DECK-MOUNTED FAUCET WITH SENSOR, GRID DRAIN, LOOSE KEY ANGLE STOPS AND SUPPLIES. INSULATE WATER AND WASTE WITH INSULATION KIT. SEE ARCHITECTURAL FOR MOUNTING HEIGHT. INSULATE WATER AND WASTE TO MEET ADA REQUIREMENTS WITH TRAP WRAP.
S-1	SINK - SINGLE	ELKAY	LRAD2219-55-3	STAINLESS STEEL	CHICAGO FAUCET CO	1100-GN2A-XK	CHROME	MANUAL	No	2.0 GPM	1/2"	1/2"	SINGLE COMPARTMENT, ADA COMPLIANT, SELF-RIMMING, 18 GAUGE, TWO HANDLE FAUCET, ONE ELKAY MODEL NO. LK35 BASKET STRAINER, P-TRAP, TAILPIECES, SUPPLIES AND STOPS.
WC-1	WATER CLOSET - FLOOR MOUNT - ADA	KOHLER	K-96059-0	WHITE VITREOUS CHINA	SLOAN	ROYAL NO. 8111	CHROME	ELECTRONIC	Yes		1"		ELONGATED WALL HUNG WATER CLOSET, 1-1/2" TOP SPUD, SENSOR OPERATED FLUSH VALVE, CHURCH 295CT ELONGATED OPEN FRONT SEAT. INSTALL AT ADA COMPLIANT HEIGHT.

ABBREVIATIONS:	
FFA	FROM FLOOR ABOVE
FFB	FROM FLOOR BELOW
TFA	TO FLOOR ABOVE
TFB	TO FLOOR BELOW

- GENERAL PLUMBING NOTES:**
- BUILDING SYSTEMS MUST REMAIN OPERATIONAL, UNLESS OTHERWISE PERMITTED BY OWNER. COORDINATE AS REQUIRED. ALL WORK TO BE SCHEDULED AS DIRECTED BY OWNER. COORDINATE AS REQUIRED.
  - PORTIONS OF THE BUILDING WILL BE CONTINUOUSLY OCCUPIED DURING THE CONSTRUCTION PERIOD. AVOID INTERFERENCE WITH BUILDING FUNCTION. COORDINATE TIMING OF CONSTRUCTION WORK WITH THE OWNER.
  - THIS PLAN HAS BEEN PRODUCED UTILIZING THE EXISTING PLANS AND IS NOT INTENDED TO BE ALL INCLUSIVE.
  - VISIT THE BUILDING SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING CONDITIONS AFFECTING THE WORK.
  - VERIFY ALL MEASUREMENTS, PIPE SIZES, PIPE LOCATIONS, ELEVATIONS, ETC. AT SITE.
  - REVIEW, COORDINATE, AND SCHEDULE INSTALLATION OF WORK WITH OTHER TRADES.
  - INSTALL ALL WORK SUBSTANTIALLY AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE APPROVED BY OWNER.
  - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL PLUMBING FIXTURES, STRUCTURAL DIMENSIONS AND LAYOUT. IT IS THE INTENT OF THESE DRAWINGS THAT EACH AFFECTED SYSTEM BE COMPLETE, WORKING, TESTED, AND OPERATIONAL.
  - CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID OPENING. THE ENGINEER RESERVES THE RIGHT TO FINAL DECISION.
  - INCLUDE ALL PLUMBING RELATED CUTTING, PATCHING AND/OR REMOVAL AND REPLACEMENT OF EXISTING WALLS, FLOORS & CEILING UNLESS OTHERWISE INDICATED.
  - ALL WATER PIPING SHALL BE SO INSTALLED TO FACILITATE COMPLETE DRAINAGE.
  - ALL FIXTURE WATER SUPPLY FLOW RATES SHALL CONFORM TO SPS 384.20(3).
  - DOMESTIC WATER PIPE SIZING SHALL CONFORM TO SPS 382.40(7), FRICTION LOSS METHOD AND MAXIMUM FLOW VELOCITY OF 8 FPS.
  - BACKFLOW PROTECTION SHALL BE PROVIDED TO ALL FIXTURES, CONFORMING TO SPS 382.41(3).
  - EACH FIXTURE SHALL BE VALVED, CONFORMING TO SPS 382.40(4)(c) b.
  - UNLESS NOTED OTHERWISE ALL WASTE AND DRAIN PIPING 3" AND LARGER SHALL BE INSTALLED AT A SLOPE OF 1/8" PER FOOT AND WASTE AND DRAIN PIPING 2" AND SMALLER AT 1/4" PER FOOT.
  - CONNECT VENT PIPING ABOVE THE CENTERLINE OF HORIZONTAL DRAIN PIPING IN CONFORMANCE TO SPS 382.31(10)(1).
  - FIXTURE VENTS SHALL CONNECT TO OTHER BRANCH VENTS A MINIMUM OF 36" ABOVE THE FLOOR, CONFORMING TO SPS 382.31(15)(b).
  - THE INSTALLATION OF PVC DWV PIPING IN BUILDING SHALL CONFORM TO SPS 384.40(14), WHEN APPLICABLE.
  - WASTE STACK BASE CONNECTIONS SHALL BE MADE USING LONG SWEEP FITTINGS.
  - CLEANOUTS SHALL CONFORM TO SPS 382.35(6) TABLE B2.35.
  - ALL WATER CLOSETS SHALL BE WATER CONSERVING TYPE, USING A MAXIMUM OF 1.6 GALLONS PER FLUSH CONFORMING TO SPS 384.20(3).
  - ALL SINK FAUCETS SHALL USE A MAXIMUM OF 2.2 GPM, CONFORMING TO SPS 384.20(3).
  - ALL LINE VALVES WHICH SERVE TWO OR MORE PLUMBING FIXTURES SHALL HAVE A FLOW OPENING NOT LESS THAN ONE NOMINAL PIPE SIZE SMALLER THAN THE NOMINAL SIZE OF THE PIPING CONNECTING TO THE VALVE, CONFORMING TO SPS 384.30(5)(3).
  - CUTTING, NOTCHING OR BORING OF METAL STUD WALL SYSTEM IS NOT PERMITTED UNLESS APPROVED BY THE MANUFACTURER AND THE STRUCTURAL INTEGRITY HAS NOT BEEN REDUCED TO UNACCEPTABLE LEVELS.
  - PLASTIC PIPE MAY PENETRATE REQUIRED FIRE-RESISTIVE RATED FLOORS, WALLS, CEILING AND FIRE RATED ASSEMBLIES PROTECTED WITH AN APPROVED FIRE-STOP SYSTEM HAVING AN F-RATING NOT LESS THAN THE HOUR-RATING OF THE ASSEMBLY BEING PENETRATED.
  - CORE DRILL OPENINGS IN EXISTING FLOOR/WALL, AS REQUIRED, SIZE OF OPENINGS SHALL NOT EXCEED 1" LARGER THAN THE O.D. OF THE PIPING PENETRATING THE ASSEMBLY. COORDINATE WITH DRAFT FIRE STOPPING REQUIREMENTS.
  - IDENTIFY PIPING LOCATED ABOVE CEILING PRIOR TO CEILING GRID INSTALLATION.



**1 UNDERFLOOR PLAN**  
1/8" = 1'-0"



**2 PIPE SUPPORT DETAIL**  
1/8" = 1'-0"



**HSR ASSOCIATES INC.**  
100 MILWAUKEE STREET  
LA CROSSE, WISCONSIN  
PHONE: 608.784.1830  
FAX: 608.782.5844  
www.hsrassociates.com

**Consultant:**

**EAU CLAIRE AREA SCHOOL DISTRICT  
LOCUST LANE ELEMENTARY SCHOOL  
SECURE ENTRANCE**

Project Title:  
Project Location: 3245 LOCUST LANE  
EAU CLAIRE, WISCONSIN

Sheet Title:  
Project Number: 18044  
Project Date: JANUARY 2019  
Drawn By: MSG/RGJ  
Key Plan:

No.	Description	Date
A2	Addendum #2	2/26/19

Graphic Scale:  
0' 2' 4' 8' 12'

Last Update:  
2/14/2019 9:51:27 AM

**P100R**

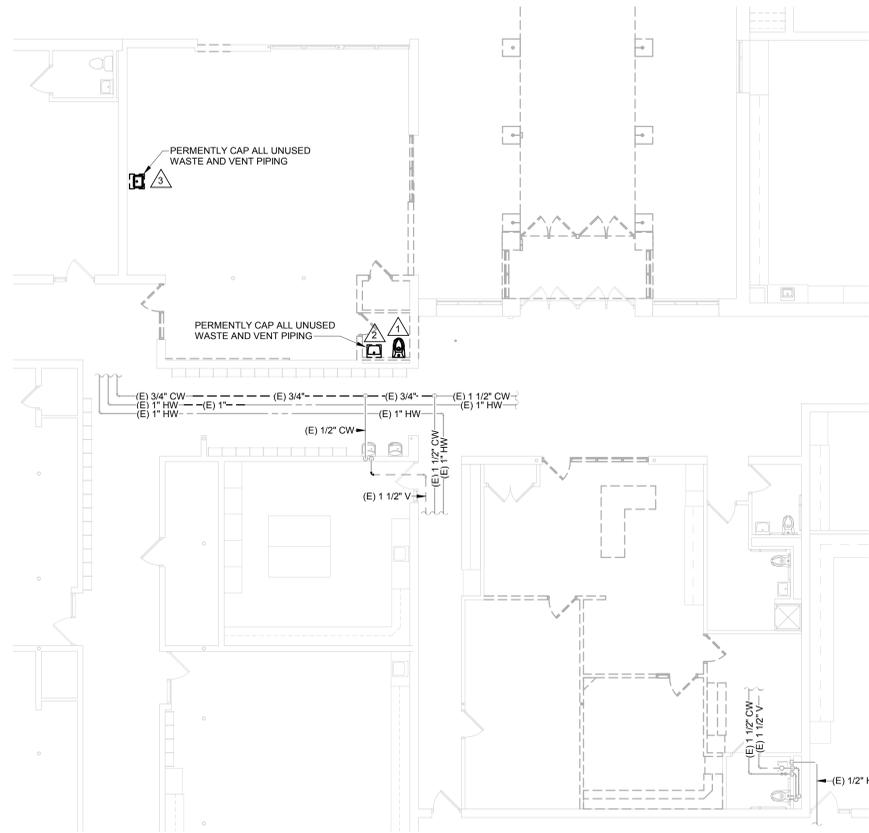


**REMOVAL NOTES:**

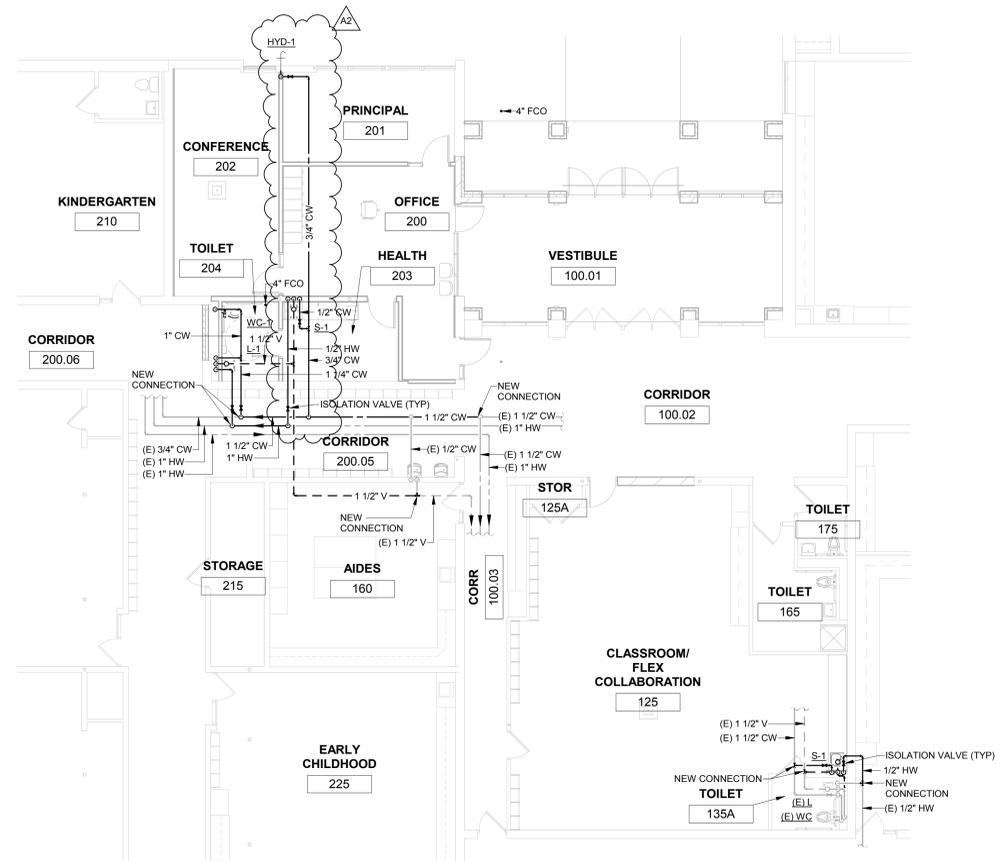
- REMOVE ALL EXISTING PLUMBING PIPING, (INCLUDING PIPING IN WALLS BEING REMOVED, CHASES BEING REMOVED, OR ABOVE CEILINGS), FIXTURES, EQUIPMENT, DEVICES, ETC. WITHIN BUILDING, INCLUDING BUT NOT LIMITED TO THAT WHICH IS SHOWN. FIELD VERIFY LOCATION AND SIZE OF PIPING, FIXTURES, ETC., AS REQUIRED. OTHER PIPING EXISTING, AND IS NOT SHOWN OR INDICATED TO BE REUSED, SHALL BE REMOVED. DISPOSE OF ALL REMOVED MATERIAL OFF SITE.
- PIPING IN REMAINING WALLS OR CHASES CONNECTED TO PLUMBING FIXTURES OR EQUIPMENT REMAINING SHALL NOT BE REMOVED. SEE REMODELING PLAN FOR RECONNECTION.
- REMOVE THE FOLLOWING LISTED PLUMBING FIXTURES OR EQUIPMENT AND RESPECTIVE WATER, WASTE AND VENT PIPING TO POINT OF RECONNECTION IN REMODELING OR TO MAIN, UNLESS PIPING IS BELOW FLOORS ON GRADE OR ABOVE NON-ACCESSIBLE CEILINGS, AND CAP/PLUG BELOW FLOOR, ABOVE CEILING AND/OR BEHIND REMAINING WALLS AS REQUIRED, OR AS OTHERWISE SHOWN OR INDICATED ON PLANS. PATCH TO MATCH EXISTING FINISHES, UNLESS OTHERWISE SHOWN OR INDICATED ON ARCHITECTURAL PLANS.
- ALL FIXTURES AND RELATED EQUIPMENT (FAUCETS, DRAIN ASSEMBLIES, MIXING VALVES, CHAIR SUPPORTS, CONTROLS, ETC.) REMOVED SHALL BE FURNISHED TO THE OWNER OR DISPOSED OF AT THEIR DIRECTION. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE DURING FIXTURE REMOVAL. COORDINATE WITH THE OWNER.

**FIXTURE REMOVAL**

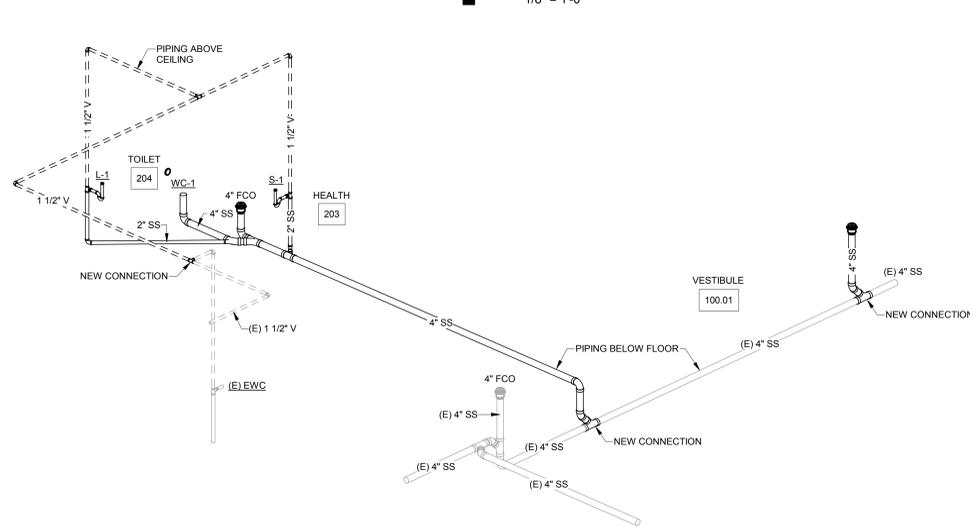
Number	Description
1	WATER CLOSET
2	LAVATORY
3	SINK



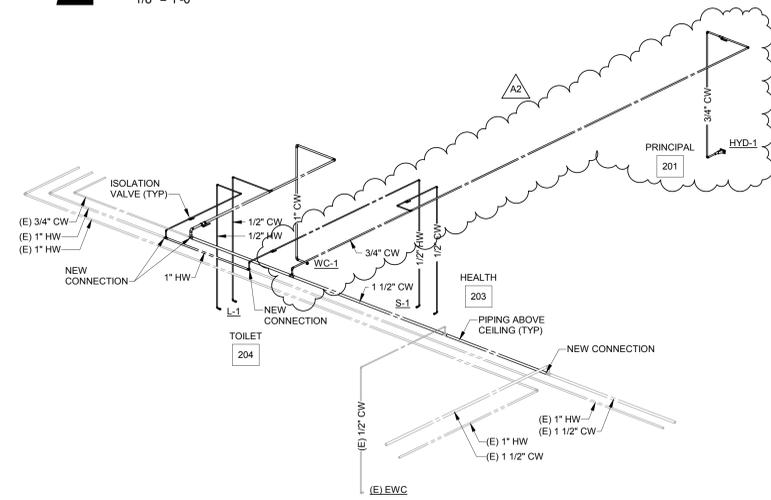
**1 FIRST FLOOR REMOVAL PLAN**  
1/8" = 1'-0"



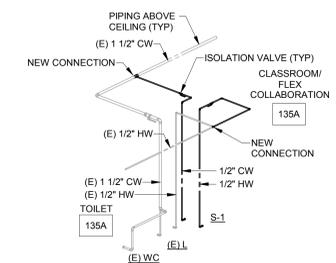
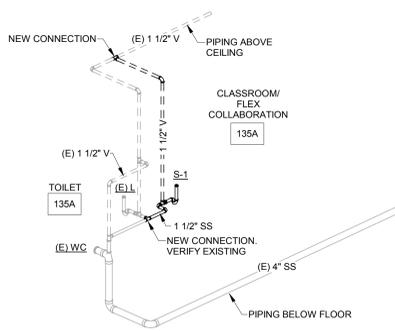
**2 FIRST FLOOR REMODEL PLAN**  
1/8" = 1'-0"



**4 DWV ISOMETRIC**



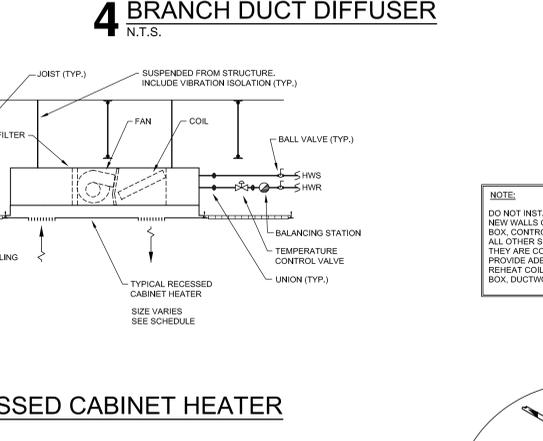
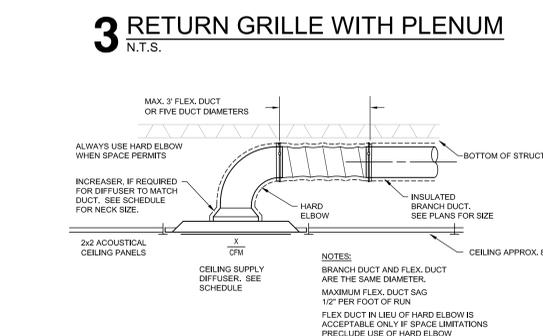
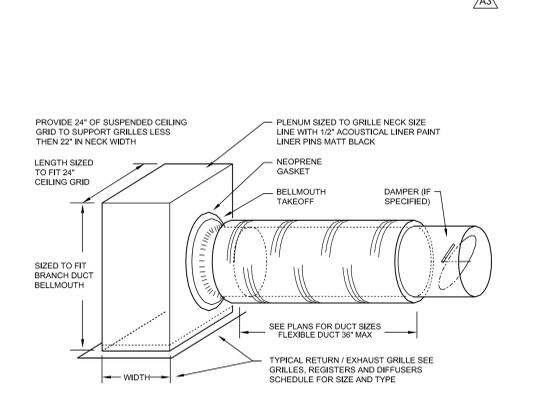
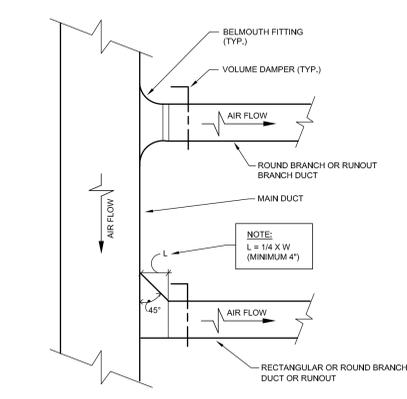
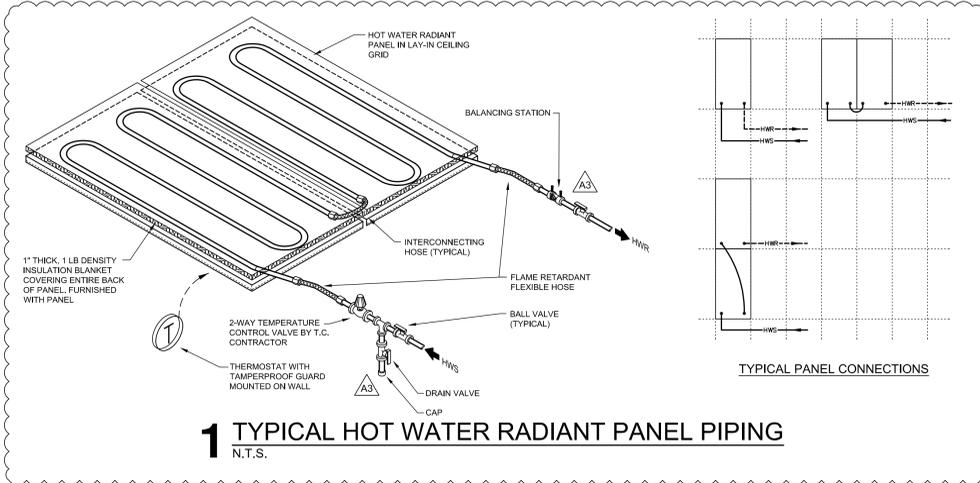
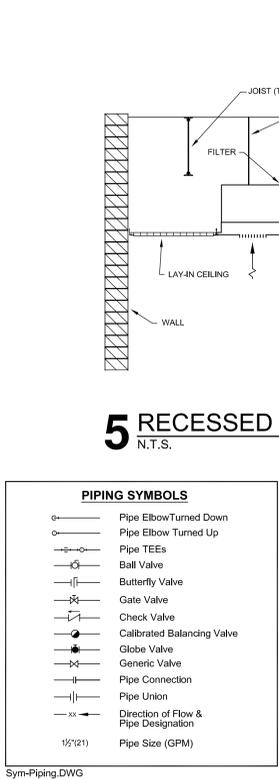
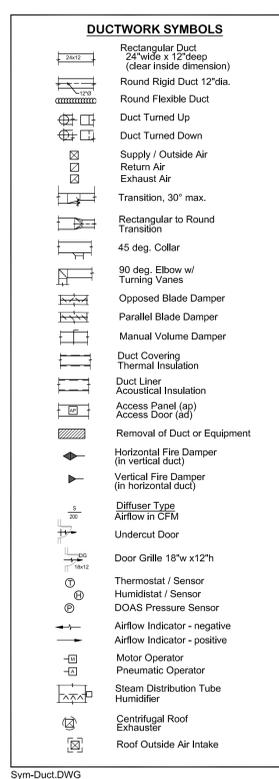
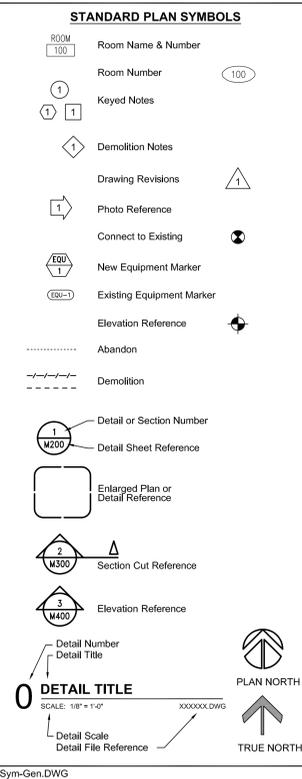
**3 WATER ISOMETRIC**



**HVAC GENERAL NOTES**

- Contractor shall secure all required permits applicable to this work. All work shall be done in accordance with national, state, & codes; as well as, the requirements of the authority having jurisdiction.
- Equipment and systems shall meet or exceed the requirements of IECC 2015 Section C403 - Building Mechanical Systems.
- All air-cooled DX units with economizers shall be provided with a fault detection and diagnostics (FDD) system complying with IECC.
- The contractor shall follow all rules and regulations in effect on the job site. Refer to the front end of the specifications for specific requirements.
- The contractor shall have a phone, a camera and the ability to send photos on the job site. A cell phone is acceptable for this purpose.
- All materials installed shall be new unless noted otherwise. This Contractor shall warrant the entire installation for a period of not less than one year after final completion. Longer warranties apply where called for in specific areas of work. All material shall be as indicated on the plans or listed in the specifications. Where drawings or specification do not dictate specific equipment, industry standards for commercial construction shall apply.
- On mechanical "M" series drawings, items that are dark lines shall be new work & items that are light lines shall be existing to remain.
- On mechanical "removal" drawings, items that are dark dashed lines shall be removed & items that are light lines shall be existing to remain.
- OWNER REQUESTED CHANGES: If the Owner or Owners Representative requests work done in a specific way such as rerouting a duct or pipe different from the contract documents contact Engineer to work out modifications and any change to cost or schedule.
- Air handling equipment will not be operated during construction and the inlets and outlets will be sealed to prevent contamination of the ductwork.
- All equipment, ductwork & piping shall be kept clean from dirt & debris. Do not allow the inside of duct & lines to get dirty.
- All ductwork shall be constructed to SMACNA standards in accordance with the appropriate pressure classification.
- Ductwork size listed on plans are internal free area dimensions. The first figure of duct size indicates dimension of face shown or indicated.
- Piping size listed on plans are I.D. dimensions.
- Coordinate grille/diffuser & access panel locations with architectural reflected ceiling plan.
- Coordinate the locations of grilles/diffusers with electrical light fixtures, light fixture support rods and fire sprinkler heads for free interference.
- Arrows shown on the hot water and chilled water piping indicate the direction of flow. Arrows on the steam, condensate, & drain piping indicate downward pitch of the piping.
- Air vents shall be installed at all high points & drains at all low points of water piping systems.
- Piping connections with unions or flanges shall be made to coils or tube bundles to facilitate removal of that item without disturbing the branch valves and/or piping.
- All floor or grade mounted equipment shall be installed on concrete pad unless otherwise noted on plans.
- All roof curbs shall be 18" tall unless otherwise noted on plans.
- Manual volume dampers shall be installed at each branch take-off from main supply, return, & exhaust ducts. Dampers shall be located as close to the branch take-off as possible & installed to allow for easy access. Above hard ceilings, volume damper shall be installed behind the grille/diffuser.
- Volume dampers installed in externally insulated ductwork shall be provided with extended operator handle to outside of insulation.
- Shut-off valves installed in insulated piping shall be provided with extended operator handle to outside of insulation.
- Duct size to diffusers, registers and grilles shall be same size as neck size unless noted or detailed otherwise.
- Inlet duct size to supply air terminal units shall be same as inlet unless otherwise noted.
- Outlet duct size from exhaust air terminals shall be the same as outlet unless otherwise noted.
- All mitered rectangular/square elbows shall have air turning vanes.
- Contractor shall field verify layout and manufacturer's installation requirements for actual equipment provided. Provide all necessary accessories for a complete installation.
- ADDITIONAL COSTS: Whenever a product of a manufacturer other than Base Specification is furnished, including "equals", the respective Mechanical Contractor shall include in his bid, any additional costs for labor and/or materials required to adapt the substituted equipment variations, to the original design. This would include but not limited to changes to electrical requirements, flues, pipe sizes, enclosures or equipment supports etc.
- Contractor shall coordinate locations of HVAC mains, branches piping, etc. with all other trades prior to installation.
- Piping to terminal heating and cooling devices shall be 3/4" unless otherwise noted.
- No piping shall be installed above electrical equipment, unless otherwise noted. Refer to electrical drawings for electrical equipment locations. Coordinate with electrical trade for exact locations.
- Provide flexible duct connections at all ductwork connections to air handling units, return fans and exhaust fans.
- Provide motor covers for all ball-driven motors & motor shafts.
- All sidewall grilles shall be aligned vertically and horizontally wherever possible. For discrepancies, contact the architect/engineer.
- Fresh air intake shall be a minimum distance of 10'-0" from any exhaust/relief outlet, flue, gas or plumbing vent. Coordinate with respective trades.
- Elevation of piping & ductwork indicated on these drawings are to be used as guidelines to assist with installations. Minor changes to these elevations may be necessary to eliminate unforeseen interferences.
- Where work interferes with owner's use of premises, schedule work through owner to minimize inconvenience to owner. Owner must approve schedule in writing before contractor begins any such work.
- THERMOSTAT MOUNTING HEIGHTS: For thermostats with front wheelchair access mount top of thermostat at 48 inches above the floor. For thermostats with side wheelchair access mount top of thermostat between 48 and 54 inches above the floor. For thermostats mounted above a counter mount top of thermostat at 44 inches above the floor.
- Record (as-built) drawing shall be maintained on the job site and shall be submitted prior to job completion.

HVAC General Notes.dwg



**FANS - CABINET/CEILING EXHAUST (23 34 16)**

MARK	MANUFACTURER'S MODEL NO.	SERVING/ LOCATION	CFM	TOT. S.P.	TYPE	SONES	CONTROL/ INTERLOCK	FAN RPM	DRIVE	ELECT. WATTS	VOL TPH	ACCESSORIES/ OPTIONS	REMARKS
CE-1	SP-B110	Toll 204	95	0.25	Ceiling	2	Wall Sw. lch	950	Direct	80.2	115/1	1, 2, 3, 4	

Based on products by GREEN-ECK. Equal products by Penn and Cook are acceptable. **REMARKS:**  
 1. Integrate with Disconnect & Backdraft Damper.  
 2. Rubber Isolators.  
 3. Time delay wall sw lch.  
 4. Roof Jack.

**VAV AIR TERMINAL UNITS (23 36 00)**

MARK	AREA SERVED	PLAN CFM	DUCT RUNOUT SIZE	TERMINAL UNIT				COIL DATA (based on PLAN CFM)				PIPING CONTROL	ACCESS/REMARKS					
				INLET SIZE	COOLING CFM	MAX. MIN. P.D.P.	MBH	WATER GPM	P.D. EWT.	E.A.T. REG.	L.A.T. RUNOUT SIZE							
16-1	Princip 201	500	6	8	0.37	500	200	0.17	21.4	2	1.3	0.26	180	55	88	3/4"	2-Way	1, A, B
16-2	Office 200	340	6	6	0.36	340	135	0.16	12.8	2	0.7	0.11	180	55	80	1/2"	2-Way	1, A
16-3	Conf 202	320	6	6	0.33	320	130	0.13	11.6	2	0.6	0.08	180	55	89	1/2"	3-Way	1, A

Based on TITUS Model DESV. Equal products by Titus and KUEJER are acceptable. **REMARKS:**  
 A. Served by AHJ-2  
 B. Auxiliary Heat in zone.  
 \* 100% Max. and 40% Min of plan CFM = cooling coil.  
 \*\* Pres. Diff. Between inlet and discharge including coil.  
 \*\*\* Use PLAN CFM for heating CFM.

**AIR DISTRIBUTION DEVICES (23 37 00)**

MARK	MANUFACTURER'S MODEL NO.	APPL. SERVED	SIZE (W x H)		MAXIMUM DUCT FACE	CFM	PD**	NC*	FT**	DIRECT.	TYPE	CONSTR.	DAMP.	OPTIONS	REMARKS	
			DUCT	FACE												
B	SFD	Supply	8"	24x24	280	0.08	19	5	4-Way	Arch.	Ceiling Diff.	Steel	No	1	B	
D	SFD	Supply	6"	24x24	170	0.05	17	4	4-Way	Arch.	Ceiling Diff.	Steel	No	1	B, C	
C	BT	Return	22x10	24x10	550	0.04	18	---	---	---	---	Aluminum	No	---	B, C	
D	BT	Return	22x10	24x12	800	0.05	22	---	---	---	---	Aluminum	No	---	1, 3	B, C
E	BT	Return	22x22	24x24	1600	0.04	21	---	---	---	---	Aluminum	No	---	1, 3	B, C
F	BT	Return	22x22	24x8	350	0.03	14	---	---	---	---	Aluminum	No	---	1, 3	B, C

Based on products by PRICE. Equal products by Airtherm and Vulcan are acceptable. **REMARKS:**  
 A. Served at high fan speed.  
 B. Color selected by Owner.  
 C. Reuse existing thermostat.

**CABINET HEATER - HOT WATER (23 81 01)**

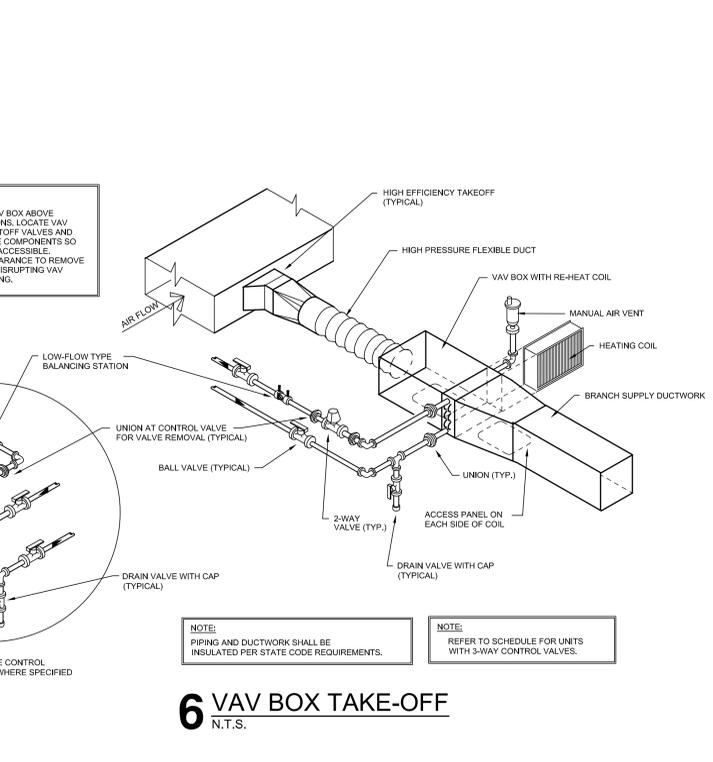
MARK	MANUFACTURER'S MODEL NO.	LOCATION	STYLE	CFM	MBH	BAT	LAT	HEATING COIL			ELECT. WATTS	VOL TPH	ACCESSORIES/ OPTIONS	REMARKS
								BWT	LWT	GPM				
CUH-1C	FPB-260	Vest 100.01	Horiz. Recessed	604	47.3	70	142	180	3.15	3.7	79	115/1	1, 3, 4, 6	A, B, C

Based on products by TRANE. Equal products by Aero-Tech and Sterling are acceptable. **REMARKS:**  
 1. 3-row Hot Water coil.  
 2. 4-row Hot Water coil.  
 3. Piping Package.  
 4. Free Discharge ECM Motor.  
 5. Disconnect Sw lch.

**RADIANT CEILING PANELS (23 81 01)**

MARK	MANUFACTURER'S MODEL NO.	QUANTITY	PANEL		ROOM TEMP	BTUH EACH	MIN. GPM	WATER		OPTIONS	REMARKS	
			SIZE	TYPE				BWT	LWT			
RCF-1	HHH	2	24"x48"	Regular	70	1230	C.5	160	150	0.36	1, 2, 3, 4	A, B, C

Based on products by ARTEX. Equal products by Aero-Tech and Sterling are acceptable. **REMARKS:**  
 1. Provide isolation valves, PT plugs on each circuit.  
 2. Provide control valve and calibrated balancing valve on each circuit.  
 3. Backs of all panels shall be covered with 1" of 3/4 lb density fiberglass insulation.  
 4. Slickscreen panel to match adjacent acoustic tile.



Revisions:

No.	Description	Date
A3	ADDENDUM #3	2/20/2019

CONSTRUCTION NOTES: REMODEL

GENERAL NOTES:

- ALL ELECTRICAL DEVICES SHOWN TO BE NEW, UNLESS INDICATED OTHERWISE.
- MAINTAIN OPERATION OF ALL EXISTING DEVICES; EXTEND WIRING/CONDUITS TO LIGHTS, RECEPTACLES, CLOCKS, INTERCOM, SPEAKERS, ETC.
- PROVIDE GROUND CONDUCTOR IN ALL NEW CONDUITS.
- REINSTALL EXISTING LIGHTS, SMOKE DETECTORS, SPEAKERS, AND FIRE ALARM HORN/STROBES WHERE INDICATED. PROVIDE NEW CONDUIT AND WIRING AS REQUIRED.
- PROVIDE FIRE STOPPING AND SMOKE DRAFT STOPPING AT ALL CONDUIT PENETRATIONS. REFER TO SPECIFICATION SECTION 07840 FOR FIRE RESISTIVE AND NON-FIRE RESISTIVE ASSEMBLIES.
- ELECTRICAL CONTRACTOR TO USE JOHNSON CONTROLS AS THE SUB CONTRACTOR FOR THE DOOR ACCESS SYSTEM; INCLUDE ALL COSTS TO PROVIDE ADDITIONAL EQUIPMENT, DEVICES, CONDUITS/ WIRING AND LABOR.

9. ELECTRICAL CONTRACTOR TO USE NETGUARD AS THE SUB CONTRACTOR FOR THE SECURITY SYSTEM; INCLUDE ALL COSTS TO PROVIDE ADDITIONAL EQUIPMENT, DEVICES, CONDUITS/ WIRING AND LABOR.

h. ELECTRICAL CONTRACTOR TO USE JOHNSON CONTROLS AS THE SUB CONTRACTOR FOR THE VIDEO SURVEILLANCE SYSTEM; INCLUDE ALL COSTS TO PROVIDE ADDITIONAL EQUIPMENT, DEVICES, CONDUITS/ WIRING AND LABOR.

i. DOOR INTERCOM SYSTEM: AIPHONE SYSTEM IS REINSTALLED BY THE ELECTRICAL CONTRACTOR. PROVIDE NEW CABLE TO MATCH EXISTING.

SPECIFIC NOTES:

1. REINSTALL EXISTING CARDER READER AND REQUEST TO EXIT DEVICE. PROVIDE NEW 2 (6) CONDUCTOR SHIELDED CABLE #18AWG TO ROOM 305 DOOR ACCESS CONTROL CABINET.

2. REINSTALL EXISTING INTERCOM STATION. PROVIDE CAT. #6 CABLE TO RECEPTION AREA TELEPHONE. PROVIDE WIRING TO OPERATE EXTERIOR ELECTRIC DOOR STRIKE.

3. REINSTALL SECURITY CAMERA, PROVIDE NEW CAT. #6 CABLE TO DATA RACK.

4. PROVIDE NEW FIRE ALARM DEVICE; PROVIDE ALL ITEMS REQUIRED TO CONNECT TO EXISTING SYSTEM.

5. PROVIDE COAXIAL CABLE FROM EXTERIOR CAMERA TO TELEVISION/MONITOR AT OFFICE 200.

6. PROVIDE PUSHBUTTON STATION WITH WIRING FOR RELEASE OF ELECTRIC DOOR STRIKES.

7. PROVIDE INTRUDER SWITCH (911 CALL) WITH CAT. #3 CABLE TO MAIN TELEPHONE BACKBOARD.

8. PROVIDE CLOCK HANGER OUTLET. CLOCK IS FURNISHED BY THE OWNER.

9. PROVIDE TAMPER RESISTANT RECEPTACLES AT EXISTING RECEPTACLE LOCATIONS. EXTEND WIRING AND CONDUITS AS REQUIRED. (TYPICAL)

10. REINSTALL CEILING PROJECTOR; PROVIDE AND INSTALL ALL ASSOCIATED CABLES AND BOXES REQUIRED. INSTALL SIMILAR TO PREVIOUS LOCATION.

11. REINSTALL EXISTING SPEAKERS AND VOLUME CONTROLS; EXTEND WIRING AND CONDUITS. PROVIDE FLUSH BACKBOX FOR WALL MOUNTING.

12. INTERLOCK OCCUPANCY SENSORS; TO CONTROL AREA LIGHTING.

13. PROVIDE LIGHTING ROOM CONTROLLER; REFER TO SPECIFICATIONS.

14. OWNER TO RELOCATE INTERCOM/SOUND SYSTEM RACK, ALL EXISTING WIRING FROM PREVIOUS LOCATION OR PROVIDE NEW CABLES IF REQUIRED.

15. CAT. #6 DATA CABLE TO DATA RACK. ADDITIONAL PATCH PANELS TO BE FURNISHED BY THE OWNER IF REQUIRED. (TYPICAL)

16. REINSTALL EXISTING SECURITY MOTION SENSOR. EXTEND EXISTING CONDUITS AND WIRING AS REQUIRED.

17. PROVIDE NEW CARD READER HID MINI-PROX MULLION READER MODEL #53656P00 AND REQUEST TO EXIT DEVICE; MODEL-BOSH #051511. PROVIDE NEW 2 (6) CONDUCTOR SHIELDED CABLE #18AWG TO ROOM 305 DOOR ACCESS CONTROL CABINET.

18. PROVIDE 2 (2) GANG BOXES FOR PA SYSTEM WIRING AND HDMI TELEVISION WIRING. PROVIDE 1 1/4" CONDUIT STUBBED ABOVE CEILING. ASSOCIATED WIRING AND CABLES TO BE BY THE OWNER. PROVIDE BLANK COVERPLATES.

19. PROVIDE ROUGH-IN BOX WITH CONDUIT TO ABOVE CEILING FOR OWNER SOUND SYSTEM. BOX TO BE AT 46" (TYPICAL OF ALL LOCATIONS SHOWN)

EQUIPMENT SCHEDULE

MARK NUMBER	EQUIPMENT DESCRIPTION	LOCATION ROOM NUMBER	RATING				WIRING		REMARK NUMBER	
			FLA	H.P.	VOLT	PH.	SIZE CONDUCTORS	GRD		
DC	DOOR CONTACTS	SEE PLANS		24	1			2 #16	#16	1
DO	DOOR OPERATOR	SEE PLANS		120	1			2 #12	#12	2
ES	ELECTRIC DOOR STRIKE	SEE PLANS		24	1			2 #16	#16	1
PS	PUSH STATION	SEE PLANS		24	1			2 #16	#16	2
CH	CABINET HEATER	SEE PLANS		120	1			2 #12	#12	3
UH	UNIT HEATER	SEE PLANS		120	1			2 #12	#12	3
PROJ	CEILING PROJECTOR	SEE PLANS		120	1			2 #12	#12	4

\* SEE REMARKS MCA - MINIMUM CIRCUIT AMPS

EQUIPMENT SCHEDULE REMARKS:

- ELECTRICAL CONTRACTOR TO PROVIDE ALL DEVICES AND WIRING REQUIRED TO COMPLETE THE SYSTEM. COORDINATE INSTALLATION WITH APPROPRIATE VENDOR/SUPPLIER. PROVIDE INTERLOCK DOOR CONTACTS #10766
- PROVIDE INTERCONNECTING WIRING AND CONDUIT TO PUSH STATIONS.
- PROVIDE TOGGLE SWITCH TO SERVE AS DISCONNECT.
- REINSTALL CEILING PROJECTOR AT NEW LOCATION; PROVIDE DUPLEX RECEPTACLE AT CEILING WITH CAT. #6 DATA CABLE TO DATA RACK. PROVIDE 1 1/4" CONDUIT RACEWAY TO BOX ON WALL FOR INSTALLATION OF HDMI CABLE. HDMI CABLE TO BE FURNISHED BY THE SCHOOL AND INSTALLED BY THE ELECTRICAL CONTRACTOR. PROVIDE COVERPLATE TO ACCEPT HDMI JACK.

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	VOLT	MOUNTING**				LAMPS	REMARK NUMBER	
					F	S	P	O			NO.
AX	EXISTING	EXISTING	RELOCATED 2'X4' TROFFER	120	*				12	LED LAMPS	1
C	COLUMBIA	LJT22-40LVGC-A12125-E	2' X 2' LAY IN TROFFER.	120	*				24	LED 4000K	2
D	COLUMBIA	LCL4-40ML-E	LED STRIP LIGHT	120	*				24	4000K	3
F	PRESCOTTIE	LF4LS-4FS1.1L40K	4" LED DOWNLIGHT	120	*				15.5	4000K	7
EX	EXISTING	EXISTING	EXISTING TO REMAIN	120	*						4
X1	CHLORIDE	CXXL3RW	SINGLE FACE LED EXIT LIGHT	120	*				5	INCLUDED	5
EMG	CHLORIDE	CAXL24W12	EMERGENCY LIGHT	120	*			2	12	LED INCLUDED	6
EM	DUAL-LITE	PGZ-HTR	EXTERIOR EMERGENCY LIGHT	120	*				15.2	LED 4000K	8
OP			OWNER PROVIDED	120	*				12	LED 4000K	8

\* SEE REMARKS  
\*\* (F) FLUSH MOUNT; (S) SURFACE MOUNT; (P) PENDANT HUNG; (O) OTHER-SEE REMARKS IN REGARDS TO FIXTURE MOUNTING.

LIGHTING FIXTURE SCHEDULE REMARKS:

- EXISTING 2'X4' RECESSED LUMINARIES TO BE REINSTALLED.
- 2' X 2' RECESSED LENS LUMINARIE.
- LED STRIP LIGHT.
- EXISTING LIGHT FIXTURE TO REMAIN. PROVIDE NEW BRANCH CIRCUIT WIRING OR SWITCH-LEG WIRING AS REQUIRED TO MAINTAIN OPERATION OF LIGHTS.
- LED EXIT LIGHT, SINGLE FACE, RED LETTERS WITH WHITE HOUSING AND EMERGENCY BATTERY.
- EMERGENCY BATTERY UNIT WITH LEAD CALCIUM BATTERY AND SELF DIAGNOSTICS.
- 4" LED DOWNLIGHT.
- OWNER PROVIDED LIGHT AND LAMPS, CONTRACTOR TO INSTALL.

ELECTRICAL SYMBOLS

- LIGHTING FIXTURE - WALL BRACKET \*
- LIGHTING FIXTURE DOWNLIGHT - SURFACE TYPE \*
- LIGHTING FIXTURE DOWNLIGHT- RECESSED \*
- LIGHTING FIXTURE (2'x2') - SURFACE TYPE \*
- LIGHTING FIXTURE (2'x2') - RECESSED \*
- LIGHTING FIXTURE (2'x2') - ON 24 HOURS/UNSWITCHED
- LIGHTING FIXTURE (2'x4') - SURFACE TYPE \*
- LIGHTING FIXTURE (2'x4') - RECESSED \*
- LIGHTING FIXTURE (2'x4') - ON 24 HOURS/UNSWITCHED
- ▬ LIGHTING FIXTURE - OPEN STRIP \*
- EXIT SIGN
- EMERGENCY LIGHTING UNIT \*
- EMERGENCY LIGHTING HEAD \*
- OCCUPANCY/VACANCY SENSOR \*
- TIME CLOCK
- LIGHTING ROOM CONTROLLER
- PHOTO ELECTRIC DAYLIGHT CONTROL
- SWITCH - SINGLE POLE
- 3 - 3-WAY SWITCH
- 4 - 4-WAY SWITCH
- PL - PILOT LIGHT SWITCH
- SC - SPEED CONTROL SWITCH
- RC1 - LOW VOLTAGE RELAY \*\*\*
- STANDARD SINGLE RECEPTACLE \*
- STANDARD DUPLEX RECEPTACLE (TAMPER RESISTANT) \*
- "GF" GROUND FAULT INTERRUPTING (TAMPER RESISTANT) \*
- "ex" EXISTING RECEPTACLE LOCATION
- "G" ISOLATED GROUND DUPLEX RECEPTACLE WITH GRAY COLOR. (TAMPER RESISTANT)
- DOUBLE DUPLEX RECEPTACLE (TAMPER RESISTANT) \*
- FLUSH FLOOR BOX W/ DEVICE OR FITTING SPECIFIED \*
- ▬ SURFACE RACEWAY/ PLUG-IN STRIP
- DISCONNECT SWITCH
- MOTOR STARTER
- MOTOR CONNECTION (NUMBER REFERS TO SCHEDULE)
- EQUIPMENT CONNECTION OR PROVISION (NUMBER REFERS TO SCHEDULE)
- PANELBOARD, TERMINAL CABINET
- TELEPHONE (PROVIDE CAT. #6 CABLES)\*\*
- COMBINATION VOICE/DATA OUTLET (PROVIDE CAT. #6 CABLES) \*\*
- COMPUTER DATA OUTLET (PROVIDE CAT. #6 CABLES) \*\*
- FIRE ALARM MANUAL STATION
- FIRE ALARM HORN/STROBE
- FIRE ALARM STROBE UNIT ONLY
- RTS REMOTE STATION FOR DUCT MOUNTED SMOKE DETECTORS
- FMA FIRE ALARM ANNUNCIATOR PANEL
- FACP FIRE ALARM CONTROL PANEL
- FM FIRE ALARM DOOR HOLDER - DEVICES FURNISHED BY GENERAL CONTRACTOR
- SMOKE DETECTOR
- DUCT SMOKE DETECTOR WITH TWO AUXILIARY CONTACTS
- AUTOMATIC HEAT DETECTOR (135° F RATE OF RISE).
- SECURITY DOOR CONTACT
- SECURITY MOTION DETECTOR
- KEYCARD ACCESS STATION
- REQUEST TO EXIT STATION
- JUNCTION BOX OR PULL BOX
- TRANSFORMER
- PUSHBUTTON STATION
- TELEVISION OUTLET
- CLOCK - PROVIDE CLOCK HANGER RECEPTACLE \*
- SPEAKER \*
- VOLUME CONTROL
- LEG TO PANEL
- NOTE NUMBER (REMOVAL)
- NOTE NUMBER (REMODEL)

\* TYPE AS INDICATED WITH LETTER/NUMBER. REFER TO SPECIFICATIONS OR SCHEDULES.  
\*\* QUANTITIES OF CABLE DROPS AS INDICATED WITH NUMBER, REFER TO DRAWINGS. HEIGHTS AND LOCATIONS AS INDICATED ON DRAWINGS.  
\*\*\* NUMBER REFERS TO LOW VOLTAGE LIGHTING RELAY, REFER TO SCHEDULE.

CONSTRUCTION NOTES: REMOVAL

GENERAL NOTES:

- REMOVE ALL ELECTRICAL DEVICES SHOWN AND ABANDON WIRING/CONDUIT BACK TO ELECTRICAL PANEL, CABINET, OR TERMINATION BOARD.
- ELECTRICAL CONTRACTOR TO INCLUDE ALL DEVICES REQUIRED FOR REMOVAL. MAINTAIN OPERATION OF ALL EXISTING RECEPTACLES AND DEVICES TO REMAIN. PROVIDE NEW HOMERUNS OF CONDUIT/WIRING WHERE REQUIRED.
- SALVAGE LIGHT FIXTURES, SMOKE DETECTORS, SPEAKERS, AND FIRE ALARM HORN/STROBES FOR REINSTALLATION.
- PROVIDE COVERPLATES AT ALL OPEN DEVICE AND JUNCTION BOXES.
- REMOVE ALL CAT #5 DATA CABLES IN AREAS TO BE REMODELED BACK TO PATCH PANEL IN DATA RACK.

SPECIFIC NOTES:

1. SALVAGE EXISTING LIGHT FIXTURES AND LAMPS FOR REINSTALLATION. (TYPICAL)

2. SALVAGE INTERCOM STATION FOR REINSTALLATION.

3. SALVAGE CAMERA FOR REINSTALLATION.

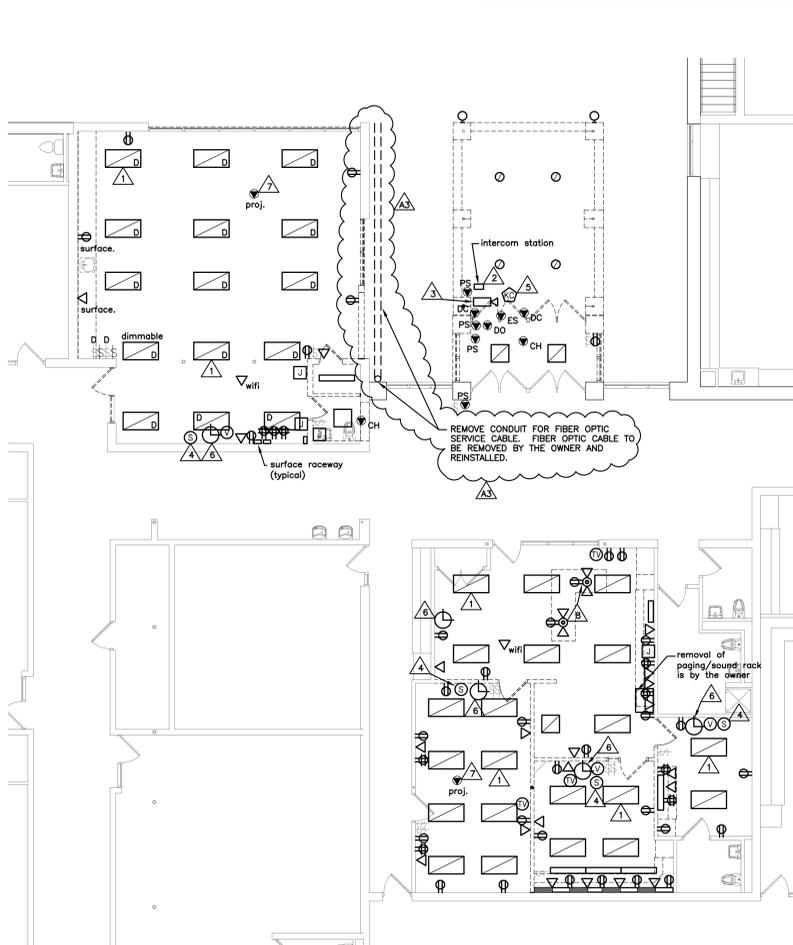
4. SALVAGE SPEAKER AND VOLUME CONTROL FOR REINSTALLATION.

5. SALVAGE CARD READER FOR REINSTALLATION.

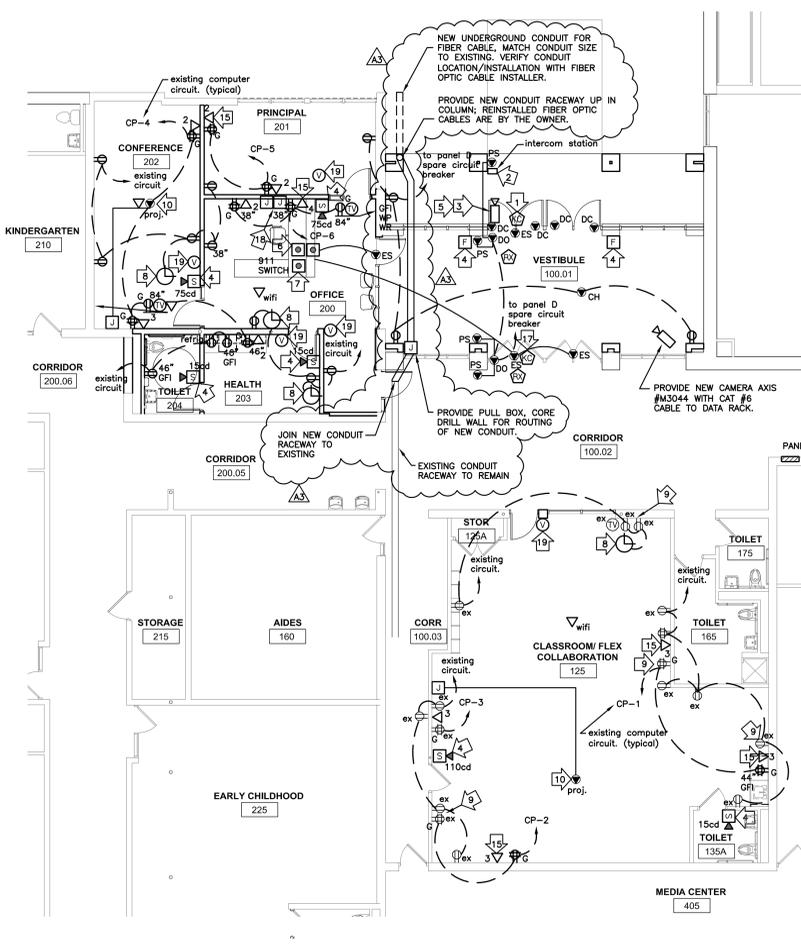
6. SALVAGE CLOCKS FOR REINSTALLATION.

7. SALVAGE CEILING PROJECTOR FOR REINSTALLATION. SALVAGE ALL MOUNTING BRACKETS AND CABLES FOR REINSTALLATION

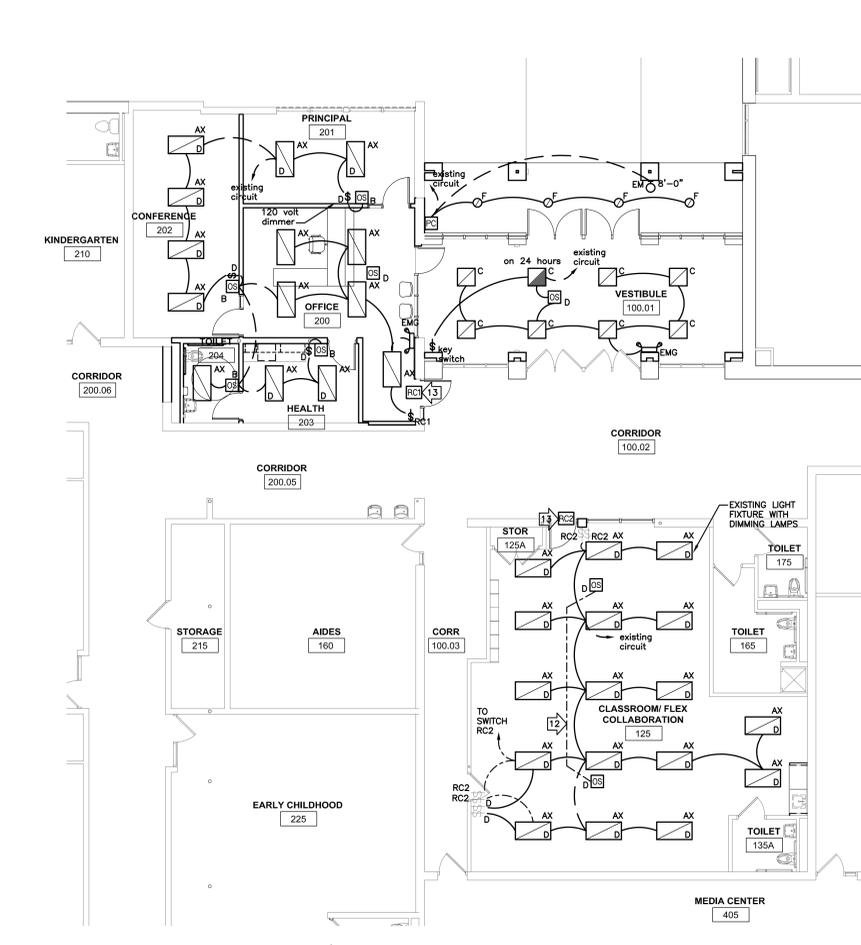
8. REMOVE FLUSH FLOOR BOXES TO BELOW FLOOR.



1 ELECTRICAL REMOVAL PLAN  
1/8" = 1'-0"



2 ELECTRICAL REMODEL PLAN  
1/8" = 1'-0"



3 ELECTRICAL LIGHTING PLAN  
1/8" = 1'-0"

Locust Lane Elementary School



HSR ASSOCIATES INC.  
100 MILWAUKEE STREET  
LA CROSSE, WISCONSIN  
PHONE: 608.784.1830  
FAX: 608.782.5844  
WEB SITE: www.hsrassociates.com

Consultant:

EAU CLAIRE ARE SCHOOL DISTRICT  
LOCUST LANE ELEMENTARY SCHOOL  
SECURE ENTRANCES

Project Title:  
Project Location: 3245 LOCUST LANE  
EAU CLAIRE, WISCONSIN

Project Number: 18044

Project Date: JANUARY

Drawn By: scott gerzisk

Key Plan:

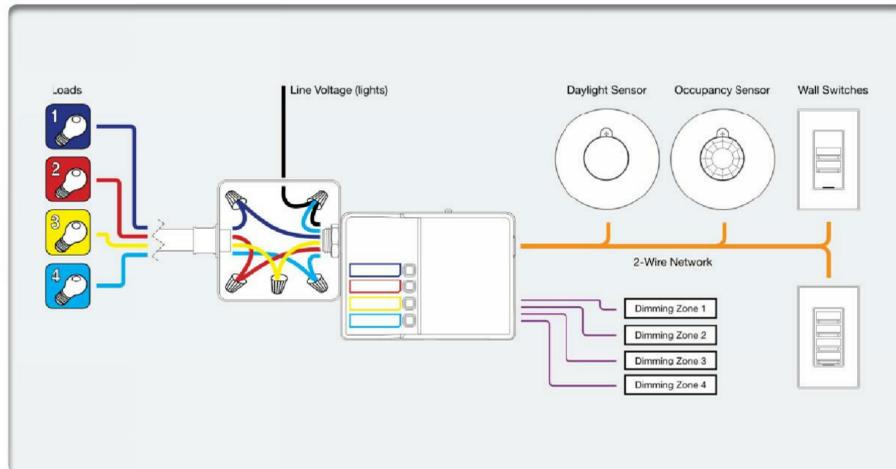
Revisions:

No.	Description	Date
1	addendum #3	2/20/19

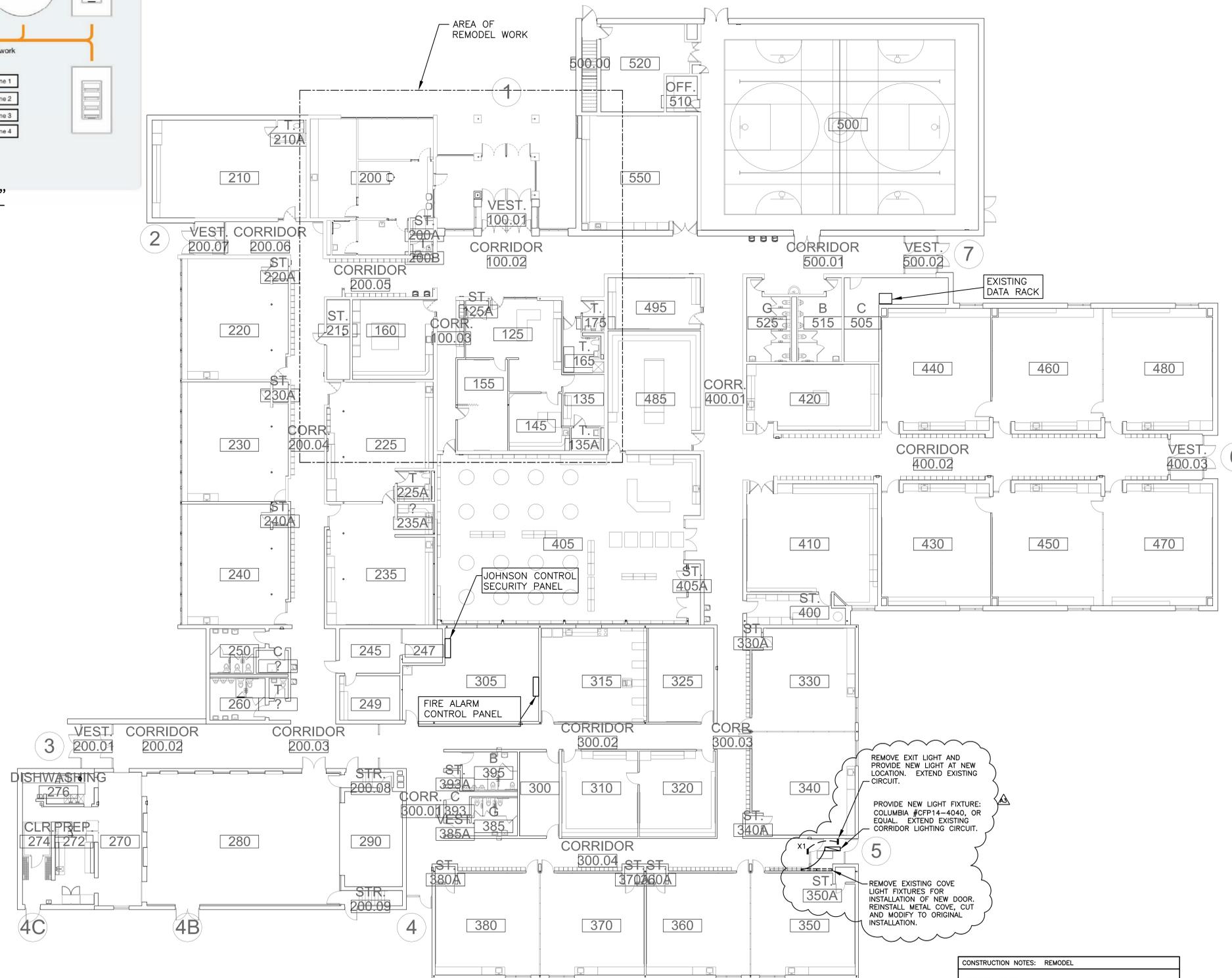
Graphic Scale: VARIES

Last Update: 2/20/19

E100R



**2** LIGHTING ROOM CONTROLLER "RC1"  
NTS



**1** OVERALL ELECTRICAL PLAN  
NTS

CONSTRUCTION NOTES: REMODEL

GENERAL NOTES:

- ELECTRICAL CONTRACTOR TO VERIFY LOCATIONS OF DATA RACKS THAT FEED AREAS TO BE REMODELED. VERIFY ROUTING OF NEW CABLES. REMOVE EXISTING CEILINGS FOR INSTALLATION AND REPLACE AFTER WORK IS FINISHED.
- ELECTRICAL CONTRACTOR TO VERIFY LOCATIONS OF SECURITY PANELS, DOOR ACCESS PANELS AND FIRE ALARM PANELS THAT FEED AREAS TO BE REMODELED. VERIFY ROUTING OF NEW CABLES. REMOVE EXISTING CEILINGS FOR INSTALLATION AND REPLACE AFTER WORK IS FINISHED.
- ELECTRICAL CONTRACTOR TO VERIFY LOCATION OF MAIN TELEPHONE BACKBOARD FOR INCOMING TELEPHONE SERVICE. VERIFY ROUTING OF NEW CABLES. REMOVE EXISTING CEILINGS FOR INSTALLATION AND REPLACE AFTER WORK IS FINISHED.

HSR Project Number: 18044

Project Date: JANUARY

Drawn By: scott gerzisk

Key Plan:

Revisions:	No.	Description	Date
	1	addendum #3	2/20/19

Graphic Scale: VARIES

Last Update: 2/20/19

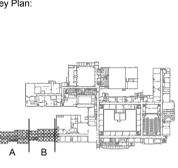


Consultant:

EAU CLAIRE AREA SCHOOL DISTRICT  
MEMORIAL HIGH SCHOOL REMODELING  
Project Location: 2225 KEITH ST  
EAU CLAIRE, WISCONSIN  
DEMOLITION PLAN

Project Title:  
HSR Project Number:  
Project Date:  
Drawn By:  
Key Plan:

18044  
JANUARY 2019  
HSR



No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
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Last Update:  
2/20/2019 10:13:16 AM

**A090R**

**GENERAL NOTES-REMOVAL:**

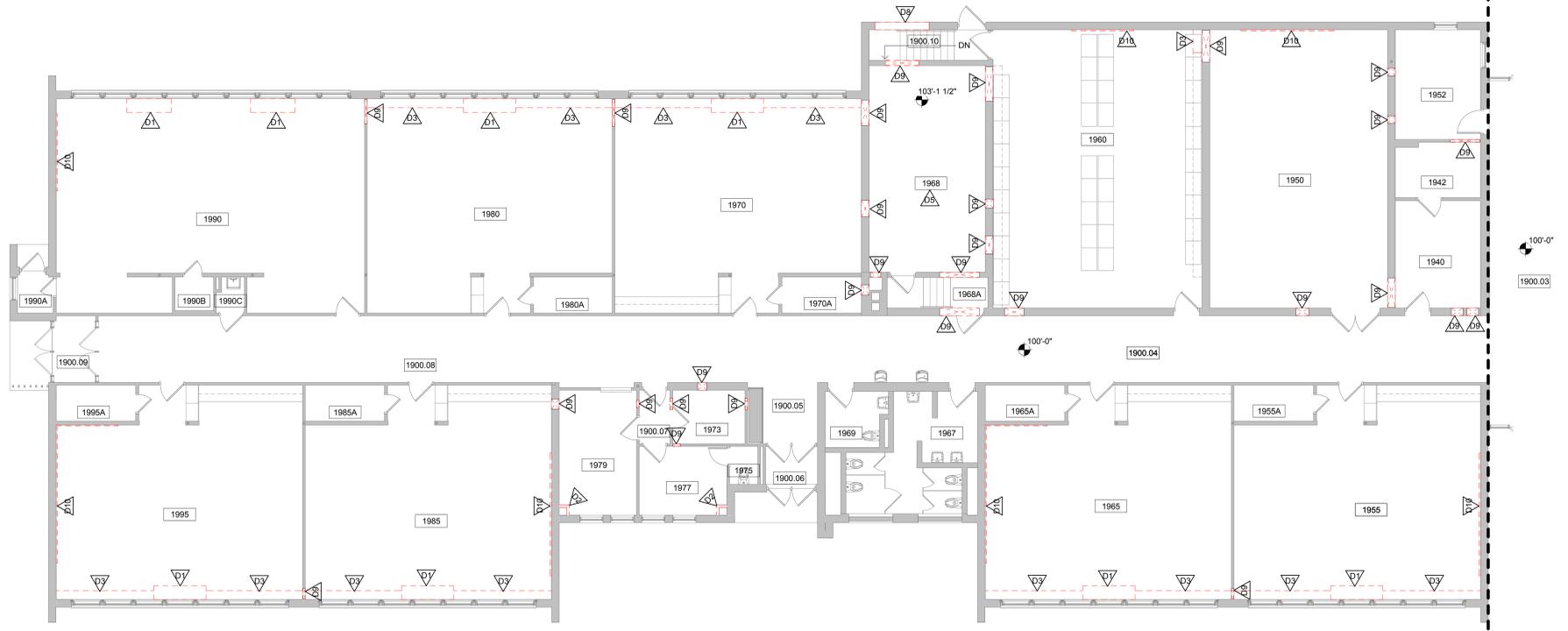
- A ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE NOTED. REFERENCE MEP SHEETS FOR ALL EQUIPMENT REMOVALS AND MODIFICATIONS. TIME AND METHODS SHALL BE COORDINATED WITH AND AGREED TO BY THE OWNER AND ARCHITECT. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE AND CAP MEP AS REQUIRED. DO NOT ABANDON IN PLACE UNUSED CONDUIT, PIPE, ETC. REMOVE COMPLETELY. VERIFY GENERAL CONDITIONS IN FIELD PRIOR TO BIDDING.
- B PREPARATION FOR NEW FINISHES SHALL INCLUDE BUT NOT LIMITED TO REMOVAL OF EXISTING FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION. PREPARATION FOR NEW FINISH IS REQUIRED AT WALLS, FLOORS, CEILING AND ANY AREAS DAMAGED BY REMOVAL DEMOLITION.
- C OWNER WILL REMOVE LOOSE FURNISHINGS AND EQUIPMENT FROM THE WORK AREA PRIOR TO START OF CONSTRUCTION.
- D DELIVERY ROUTE AND TIMES FOR NEW MATERIALS AND EQUIPMENT SHALL BE COORDINATED WITH AND AGREED TO BY THE OWNER.
- E MAINTAIN ALL EXIT DOORS AND CORRIDORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE AWAY FROM THE BUILDING. COORDINATE WITH LOCAL FIRE MARSHAL AS REQUIRED.
- F ROOM NUMBERS ARE SHOWN ON THIS PLAN FOR INFORMATIONAL AND COORDINATE PURPOSES ONLY.
- G TEMPORARY UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. ENSURE ADEQUATE LIGHTING, ETC. ALL REQUIRED SERVICES TO OTHER PARTS OF THE BUILDING SHALL BE MAINTAINED. COORDINATE ANY REQUIRED SHUTDOWNS OF POWER, COMMUNICATIONS, WATER, WASTE, HEATING OR VENTILATING WITH THE OWNER A MIN. OF 72 HOURS IN ADVANCE.
- H CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. AS REQUIRED FOR THE WORK.
- J SEE MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REMOVAL NOTES AND ITEMS.
- K COORDINATE REMOVAL AND PATCHING WITH MEP DRAWINGS. PATCH TO MATCH EXISTING ADJACENT CONDITIONS.
- L BIDDERS SHALL MAKE EVERY EFFORT TO VERIFY EXISTING CONDITIONS PRIOR TO BIDDING. INSPECTION HOLES, ETC. CAN BE COORDINATED WITH THE OWNER.
- M COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT, ACCESSORIES, ETC. WITH THE OWNER. SALVAGED ITEMS SHALL BE PLACED AT A COMMON LOCATION INDICATED BY OWNER.
- N CONTRACTOR TO INSTALL AND MAINTAIN A DUST ENCLOSURE FOR REMOVAL AND NEW CONSTRUCTION WORK.
- P PROVIDE FLOOR PROTECTION AS SPECIFIED AT DEBRIS REMOVAL PATHS THROUGH BUILDING.

**REMOVAL PLAN LEGEND:**

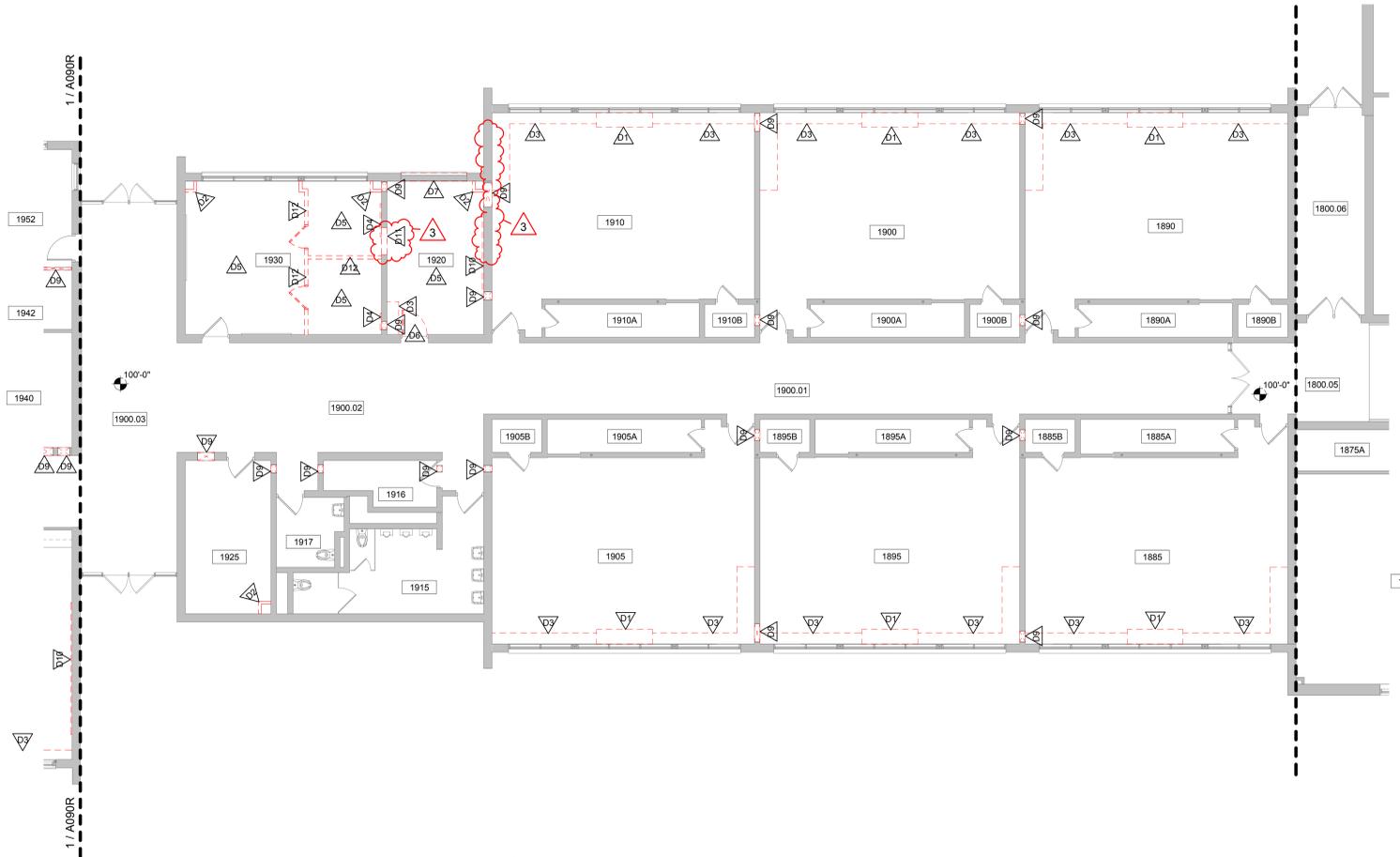
- SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- REMOVE ITEMS NOTED WITH DASHED LINES
- SYMBOL INDICATES REMOVAL OF DOOR AND FRAME UNLESS NOTED OTHERWISE

**KEY NOTES REMOVAL**

- D1 EXISTING WALL MOUNTED UNIT VENTILATOR AND EXTERIOR INTAKE LOUVER TO BE REMOVED - SEE MECHANICAL. PATCH WALL OPENING AND ALL PIPE PENETRATIONS.
- D2 REMOVE EXISTING PIPE CHASES
- D3 REMOVE EXISTING CASINGWORK. TURN OVER TO OWNER ALL ITEMS THEY DESIGNATE TO BE SALVAGED.
- D4 REMOVE EXISTING TACKMARKERBOARD - SALVAGE TO OWNER
- D5 REMOVE EXISTING SHEET FLOORING AND VINYL BASE
- D6 REMOVE EXISTING DOOR-SALVAGE HARDWARE TO OWNER.
- D7 REMOVE EXISTING WINDOWS AND WALL AS REQUIRED FOR NEW LOUVER. COORDINATE WITH WINDOW REPLACEMENT UNDER A SEPARATE CONTRACT.
- D8 SAWCUT OPENING IN MASONRY WALL FOR NEW LOUVER - SEE MECHANICAL PLAN FOR OPENING SIZE & LOCATION - SEE SHEET A600 FOR NEW LINTEL - TOOTH IN MASONRY AT JAMBS & HEAD
- D9 SAWCUT OPENING IN MASONRY WALL FOR NEW DUCTWORK - SEE MECHANICAL PLAN FOR OPENING SIZE & LOCATION - SEE SHEET A600 FOR NEW LINTEL.
- D10 REMOVE EXISTING MARKERTACK BOARD. SALVAGE FOR RELOCATION.
- D11 SAWCUT OPENING IN MASONRY WALL FOR NEW DOOR AND FRAME - SEE SHEET A600 FOR NEW LINTEL. TOOTH IN MASONRY AT JAMBS & HEAD
- D12 REMOVE EXISTING NON-LOAD BEARING WALL AND HM DOOR FRAMES.



**1 PARTIAL FIRST FLOOR DEMOLITION PLAN - SEGMENT A**  
1/8" = 1'-0"



**2 PARTIAL FIRST FLOOR DEMOLITION PLAN - SEGMENT B**  
1/8" = 1'-0"



Consultant:

EAU CLAIRE AREA SCHOOL DISTRICT  
MEMORIAL HIGH SCHOOL REMODELING

Project Title:  
Project Location: 2225 KEITH ST  
EAU CLAIRE, WISCONSIN

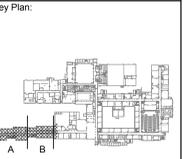
Sheet Title:  
FLOOR PLAN

HSR Project Number:  
18044

Project Date:  
JANUARY 2019

Drawn By:  
HSR

Key Plan:



No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
0' 2' 4' 8' 12'

Last Update:  
2/20/2019 10:13:17 AM

**GENERAL NOTES-FLOOR PLAN:**

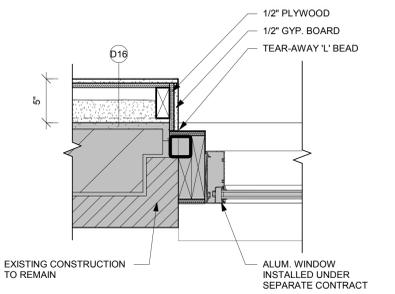
- A SEE ID SHEETS FOR FLOOR AND WALL FINISH LAYOUTS.
- B LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- C VERIFY EXACT SIZE AND LOCATION OF ALL MECHANICAL / PLUMB AND ELEC. OPENINGS - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH AT ALL VISIBLE AREAS. ALL OPENING SHALL BE SEALED AFTER UTILITY INSTALLATION.
- D PAINT ALL EXPOSED STEEL LINTELS.
- E GEN. CONTRACTOR TO PROVIDE CONC. EQUIP. PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIP. - VERIFY SIZE/PROFILE/LOCATION WITH MECHANICAL/ELECTRICAL.
- F REMOVAL / INFILL OF EXISTING CMU WALLS TO BE 'TOOTHED' IN TO MATCH ADJACENT RUNNING BOND PATTERN. PATCH WALL TO MATCH ADJACENT - TYPICAL.
- G NEW FACE BRICK IS FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- H INSTALL TEAR-AWAY 'L' BEAD WHERE GYP. BOARD ABUTS CMU OR DOOR/WINDOW FRAME.
- I WINDOW REPLACEMENT IS BEING DONE CONCURRENTLY UNDER A SEPARATE CONTRACT. COORDINATE THE WORK OF THIS CONTRACT WITH WORK PERFORMED UNDER WINDOW REPLACEMENT CONTRACT.
- J COOPERATE FULLY WITH SEPARATE CONTRACTORS SO WORK ON THOSE CONTRACTS MAY BE CARRIED OUT SMOOTHLY, WITHOUT INTERFERING WITH OR DELAYING WORK UNDER THIS CONTRACT OR OTHER CONTRACTS.

**LEGEND:**

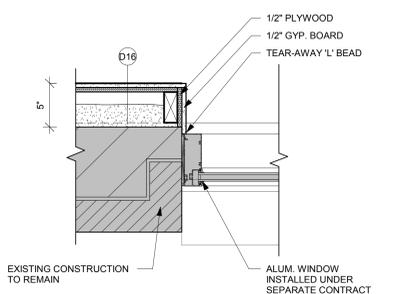
- (A) SYMBOL INDICATES WALL TYPE - SEE SHEET A600 FOR WALL TYPE DETAILS.
- (Δ) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- (L1) SYMBOL INDICATES STRUCTURAL LINTEL - SEE SHEET A600

**KEY NOTES PLAN**

- F1 INFILL WALL OPENING AT REMOVED INTAKE LOUVER. CMU AND BRICK INFILL TO MATCH EXISTING.
- F2 MECHANICAL EQUIPMENT - SEE MECHANICAL.
- F3 PATCH WALLS, BASE AND FLOORING AT DEMOLISHED PIPE CHASES-FINISHES TO MATCH EXISTING.
- F4 LINEAR BAR GRILLE (BY MECHANICAL) IN SOLID SURFACE TOP. SEE MECHANICAL FOR GRILLE SIZE.
- F5 RELOCATED TACKMARKER BOARD.
- F6 6" X 6" FLUSH ACCESS DOOR - COORDINATE LOCATION W/ MECHANICAL.
- F7 4" HIGH X 9" WIDE PLATFORM FOR FUTURE CASEWORK. SEE DETAIL A1A300.
- F8 SURFACE MOUNT WALL FIN TUBE CABINET - SEE MECHANICAL.
- F9 PATCH EXISTING FLOORING AND BASE AS REQUIRED AT REMOVED CASEWORK/UNIT VENTILATORS.
- F10 VERIFY LOCATION OF NEW DOOR. ALIGN WITH COILS OF AIR HANDLING UNIT IN ROOM 1920. PATCH FLOOR TILE AS REQUIRED.
- F11 PATCH EXISTING FLOOR AT NEW MECHANICAL PIPE PENETRATIONS.
- F12 PROVIDE OPENINGS IN EXISTING MASONRY CHIMNEY AS REQUIRED FOR INSTALLATION OF NEW MECHANICAL DUCTWORK. INFILL OPENINGS WITH CMU WHEN MECHANICAL INSTALLATION IS COMPLETE.
- F13 SOLID SURFACE WINDOW STOOL.
- F14 PATCH WALL FINISH AT REMOVED PARTITION.



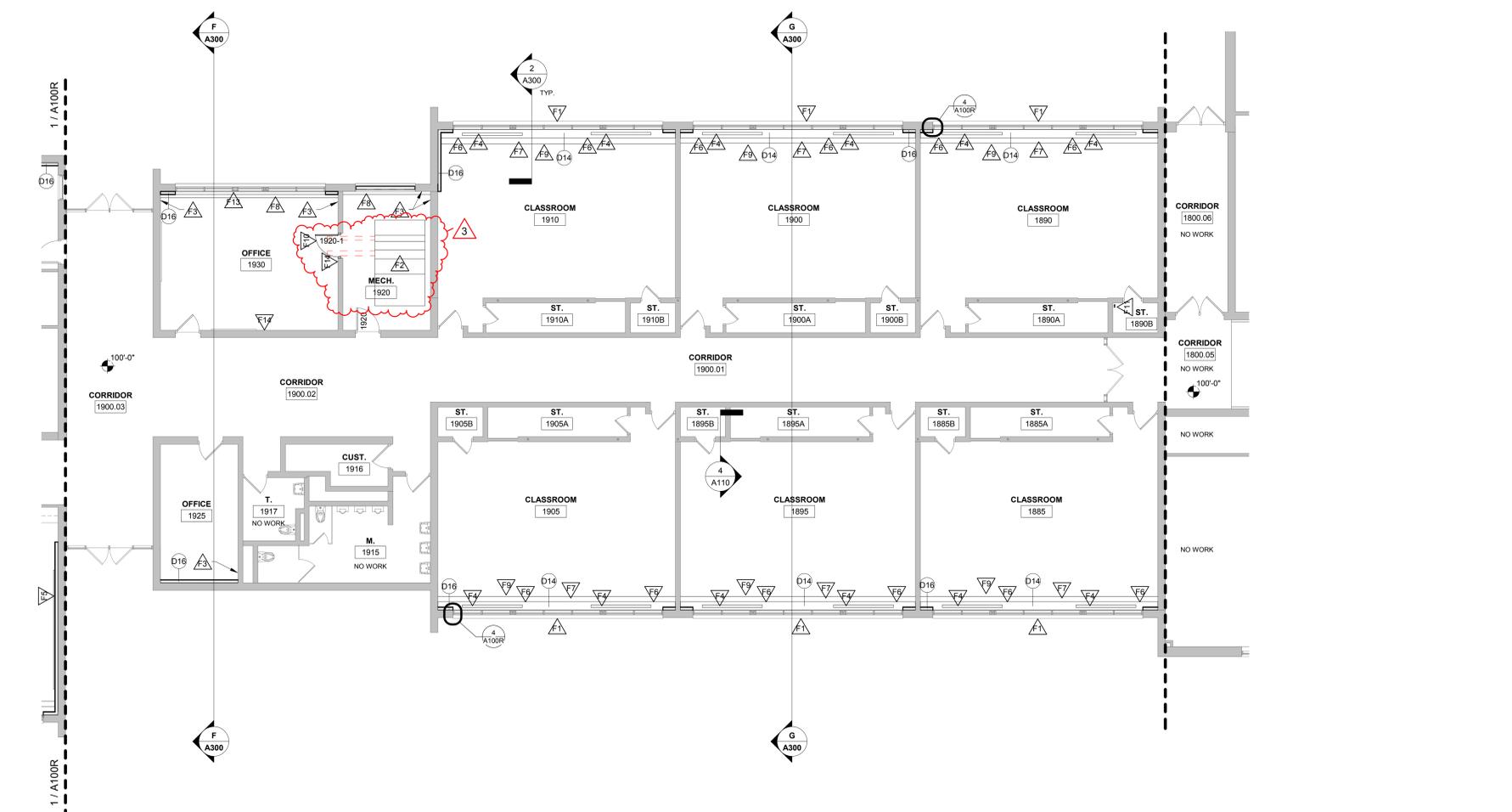
**3 WINDOW DETAIL-SEGMENT A**  
1 1/2" = 1'-0"



**4 WINDOW DETAIL-SEGMENT B**  
1 1/2" = 1'-0"



**1 PARTIAL FIRST FLOOR PLAN - SEGMENT A**  
1/8" = 1'-0"



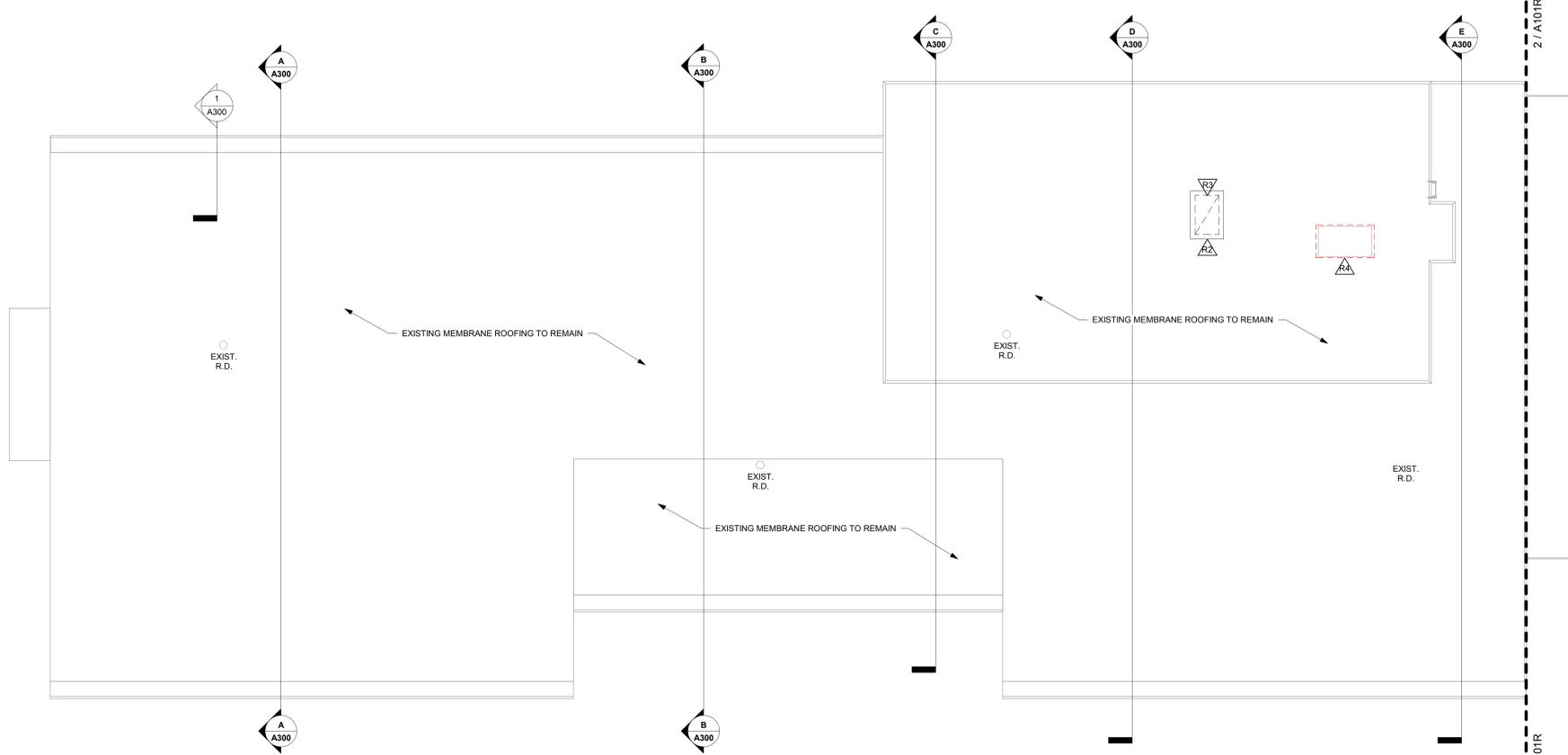
**2 PARTIAL FIRST FLOOR PLAN - SEGMENT B**  
1/8" = 1'-0"

**A100R**

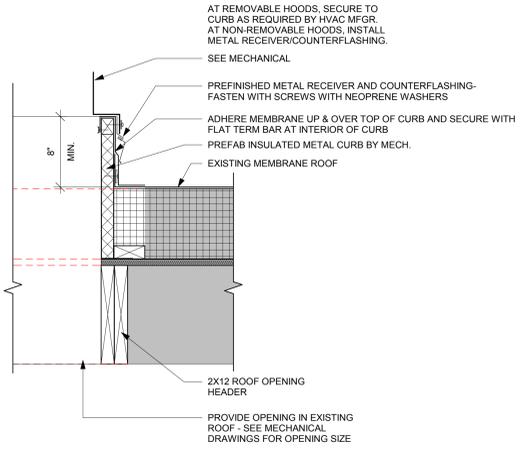
- GENERAL ROOF NOTES:**
- A VERIFY ROOF EQUIPMENT AND PENETRATIONS WITH ALL TRADES. EQUIPMENT SHOWN IS GRAPHIC ONLY.
  - B ALL METAL ITEMS AT ROOF TOPS, UNLESS REQUIRED OTHERWISE BY EQUIPMENT MANUFACTURER, SHALL BE PAINTED TO MATCH OTHER TRIM BY THE G.C. - PREPARE PRIME AND PAINT AS REQUIRED. PROVIDE FACTORY PRIMED PRODUCTS WHERE POSSIBLE.
  - C ROOF PENETRATIONS FOR DRAINS, VENTS, ETC. SHALL BE COMPLETED AS PER CURRENT SMACNA REQUIREMENTS AND THE ROOF MANUFACTURERS APPROVED DETAILS FOR WARRANTY SATISFACTION. COORDINATE QUANTITY AND LOCATIONS WITH MEP CONTRACTOR. PROVIDE CURBS WHERE REQUIRED.
  - D ALL METAL ROOF AND FLASHING, SHALL MEET CURRENT SMACNA REQUIREMENTS AND MANUFACTURER'S SPECIFIED WARRANTY.

- ROOF EQUIPMENT LEGEND:**
-  SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
  -  EXHAUST VENT HOOD-SEE MECHANICAL

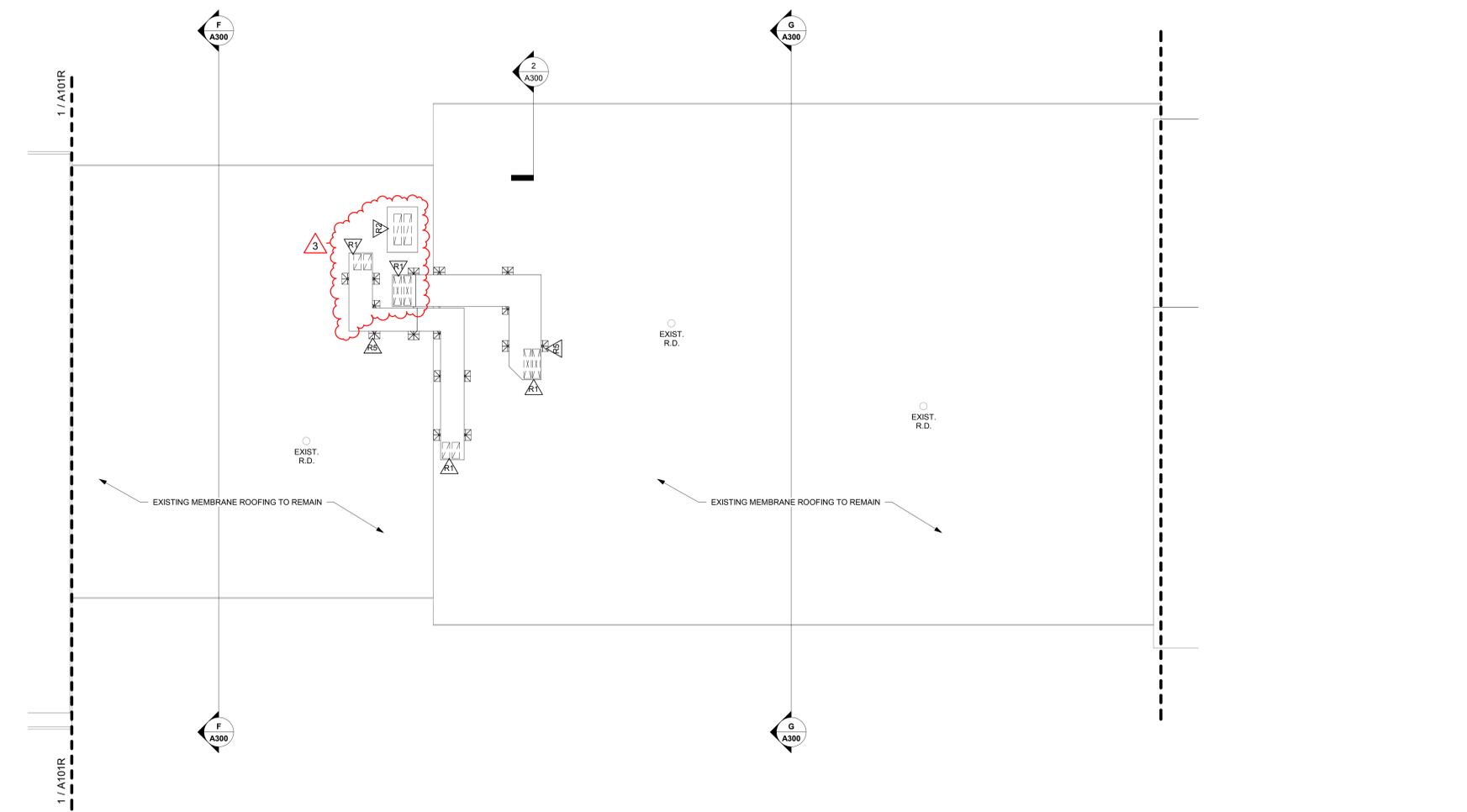
- KEY NOTES ROOF**
- R1 CUT OPENING IN EXISTING ROOF FOR ROOF MOUNTED DUCTWORK - SEE MECHANICAL. REFER TO 3A101 FOR TYPICAL ROOF CURB DETAIL AT DUCT PENETRATION.
  - R2 CUT OPENING IN EXISTING ROOF FOR NEW HOOD - SEE MECHANICAL. REFER TO 3A101 FOR HOOD CURB DETAIL.
  - R3 FRAME NEW ROOF OPENING WITH (2) PLY 2X12 SPF #2 ALL (4) SIDES - ATTACH HEADERS TO HEADERS AND HEADERS TO EXISTING GLULAMS WITH SIMPSON LUS210-2 HANGERS AT EACH SUPPORT, EACH HANGER HAVING (14) 1/8" NAILS.
  - R4 EXISTING ROOFTOP AIR HANDLING UNIT TO BE REMOVED. EXISTING CURB TO BE INSULATED AND CAPPED - SEE MECHANICAL.
  - R5 DUCT SUPPORT SYSTEM - SEE MECHANICAL. VERIFY LOCATIONS AND NUMBER OF SUPPORTS REQUIRED.



**1 ROOF PLAN - SEGMENT A**  
1/8" = 1'-0"



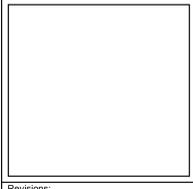
**3 ROOF CURB-PREFAB**  
1 1/2" = 1'-0"



**2 ROOF PLAN - SEGMENT B**  
1/8" = 1'-0"

Revisions:

No.	Description	Date
3	ADDENDUM #3	2/20/2019





Consultant:

EAU CLAIRE AREA SCHOOL DISTRICT  
LOCUST LANE ELEMENTARY SCHOOL  
SECURE ENTRANCE  
Project Location: 3245 LOCUST LANE  
EAU CLAIRE, WISCONSIN  
SCHEDULES

Project Title:  
Project Number:  
Project Date:  
Drawn By:  
Key Plan:

HSR Project Number:  
**18044**  
Project Date:  
**JANUARY 2019**  
Drawn By:  
**HSR**

Key Plan:

No.	Description	Date
3	ADDENDUM #3	2/20/2019

Graphic Scale:  
**VARIES**  
Last Update:  
**2/20/2019 1:33:17 PM**

**A600R**

DOOR NO.	DOOR			FRAME										FIRE LABEL	HWD GROUP	SIGNAGE	REMARKS
	SIZE	GLASS	U-CUT OR LOUVER	DOOR TYPE	GLASS TYPE	MAT'L	FRAME ELEV	DEPTH	HEAD	JAMB	SILL	DETAILS					
100-01-1	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12	LL	6"		1A600	2A600	1				1, 2	
100-01-2	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12	LL	6"		2A600	2A600	2					
100-01-3	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12	LL	6"		2A600	2A600	2					
100-01-4	3'-0"	6'-10"	1-3/4"	ALUM	E	GLT-12	LL	6"		1A600	2A600	2					
100-01-5	3'-0"	6'-10"	1-3/4"	EXISTING								3				1, 2	
100-01-6	3'-0"	6'-10"	1-3/4"	EXISTING								4					
100-01-7	3'-0"	6'-10"	1-3/4"	EXISTING								4					
100-01-8	3'-0"	6'-10"	1-3/4"	EXISTING								4					
100-01-9	2'-4"	6'-10"	1-3/4"	SCWD	A							7					
129	3'-0"	6'-10"	1-3/4"	SCWD	A							7					
200	3'-0"	6'-10"	1-3/4"	SCWD	E	GLT-8	MM	5-3/4"		5A600	5A600	5				3	
200-1	3'-0"	6'-10"	1-3/4"	SCWD	E	GLT-4	JJ	5-3/4"		5A600	5A600	6					
201	3'-0"	6'-10"	1-3/4"	SCWD	A		JJ	6-5/8"		4A600	4A600	7					
202	3'-0"	6'-10"	1-3/4"	SCWD	A		JJ	6-5/8"		4A600	4A600	7					
203	3'-0"	6'-10"	1-3/4"	SCWD	A		AA	9"		4A600	4A600	7					
204	3'-0"	6'-10"	1-3/4"	SCWD	A		AA	9"		4A600	4A600	7					
300-05-1	3'-4"	7'-0"	1-3/4"	EXISTING	E			6-5/8"	4A600 SIM			5					
300-05-2	3'-4"	7'-0"	1-3/4"	HM	E	GLT-4	PP	6-5/8"	4A600 SIM			5					

**DOOR SCHEDULE GENERAL NOTES**

HM = HOLLOW METAL    IHM = INSULATED HOLLOW METAL    SCWD = SOLID CORE WOOD DOOR

A. SEE SPECIFICATIONS FOR DOOR HARDWARE GROUPS  
 B. ALL HM (HOLLOW METAL) AND IHM (INSULATED HOLLOW METAL) DOORS AND FRAMES SHALL BE PAINTED  
 C. ALL DOUBLE DOORS TO HAVE TWO EQUAL LEAFS UNLESS NOTED OTHERWISE

**DOOR TYPES**

**DOOR SCHEDULE REMARKS**

- ELECTRONIC CARD ACCESS AND ELECTRIC STRIKE REQUIRED.
- POWER ACTUATED
- PUSH BUTTON CONTROL FOR OFFICE ENTRY ELECTRIC STRIKE

**DOOR FRAME GENERAL NOTES**

HM = HOLLOW METAL    IHM = INSULATED HOLLOW METAL

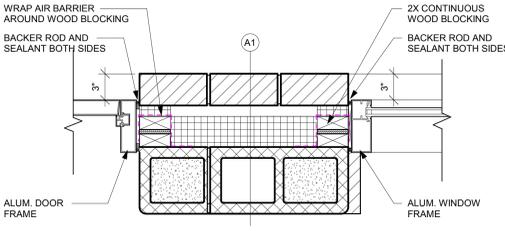
A. ALL HM (HOLLOW METAL) AND IHM (INSULATED HOLLOW METAL) FRAMES SHALL BE PAINTED.

**DOOR FRAME TYPES**

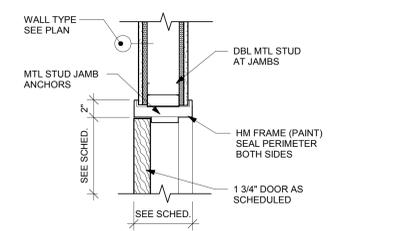
**WINDOW TYPES**

**GENERAL WALL TYPE NOTES:**

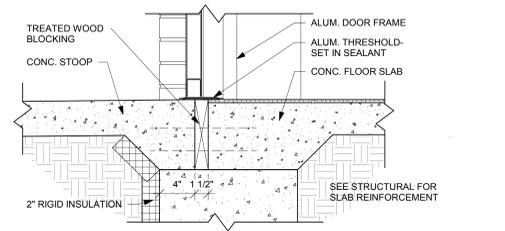
- REFER TO MASTER COLOR SCHEDULE AND INTERIOR DESIGN SHEETS FOR ADDITIONAL WALL FINISHES.
- WHERE INTERIOR DESIGN SHEETS INDICATE WALL TILE, INSTALL BACKER BOARD AT WET AND NON-WET LOCATIONS AS LISTED IN 09-21.15
- NON RATED WALLS, INCLUDING BULKHEADS SHALL HAVE FRAMING EXTENDED TO DECK ABOVE. GYP BOARD SHALL EXTEND TO 4" ABOVE CEILING UNLESS NOTED OTHERWISE. COLUMN FURRING MAY STOP 4" ABOVE CEILING.
- EXTEND STUDS, GYP BOARD AND SOUND BLANKET TO DECK ABOVE AT SOUND CONTROL WALLS (INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING). LEVEL OF FINISH ABOVE CEILING AS NOTED IN SECTION 09-21.15
- AT SOUND CONTROL WALLS INDICATED BY SOUND ATTENUATION BLANKETS, SOUND SEAL NOTE OR STC RATING) APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT FLOOR/CEILING TRACK STUDS AND STUD AT WALL. APPLY CONTINUOUS BEAD OF ACOUSTICAL SEALANT AT PERIMETER OF GYP BOARD HOLDING EDGE OF GYP BOARD AWAY FROM ADJACENT STRUCTURE NO MORE THAN 3/8". SEAL ALL WEIR/PENETRATIONS WITH SOUND BLANKET, BACKING, ACOUSTICAL SEALANT AND FIRE STOPPING. AFTER INSTALLING ONE SIDE OF GYP BOARD, APPLY OVERSIZED 2" SOUND BLANKET OVER BACK SIDE OF ELECTRICAL BOXES AND SIMILAR PENETRATIONS WHERE WALL BOXES OCCUR AT OPPOSITE SIDES. APPLY INSULATION TO BACKSIDE OF WALL BOXES. AT FIRE RATED WALLS REQUIRING SOUND CONTROL, USE PUTTY PADS FOR REQUIRED WALL RATING. REFER TO TOP OF WALL DETAILS FOR INSTALLATION OF ADDITIONAL MATERIALS AT DECK AND APPLICATION OF RATED TOP OF WALL ASSEMBLIES.
- INSTALL GYPSUM BOARD CONTROL JOINTS AT TOP OF ALL INTERIOR TOP OF DOOR JAMBS TO TOP OF GYPSUM BOARD WALLS. OTHER CONTROL JOINTS TO BE INSTALLED PER PLAN OR AT 30'-0" O.C. MAX. REVIEW LOCATION REQUIREMENTS WITH A/E PRIOR TO START OF INSTALLATION OF GYPSUM BOARD ASSEMBLIES.



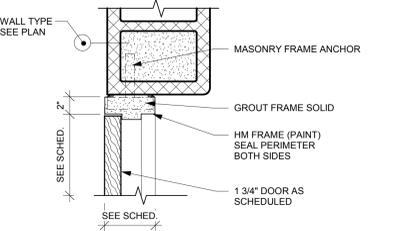
**1 DOOR/WINDOW DETAIL**  
1 1/2" = 1'-0"



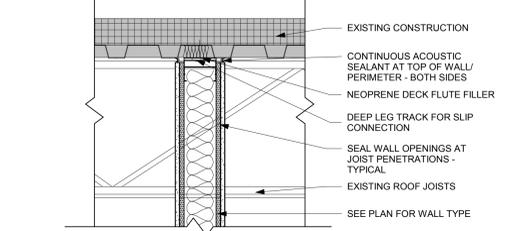
**4 DOOR FRAME DETAIL**  
1 1/2" = 1'-0"



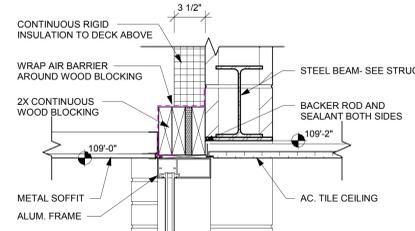
**2 DOOR SILL DETAIL**  
1 1/2" = 1'-0"



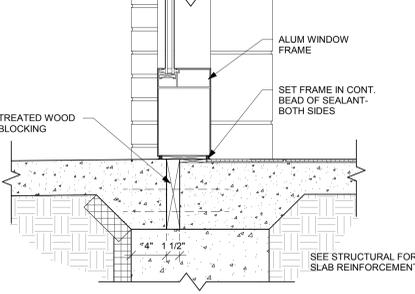
**5 DOOR FRAME DETAIL**  
1 1/2" = 1'-0"



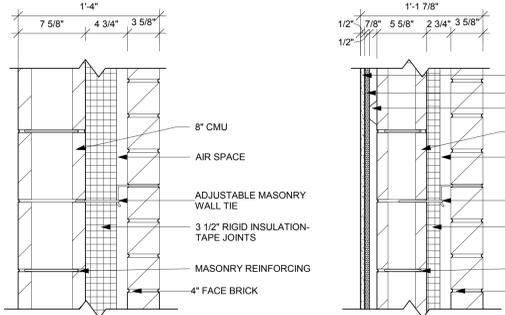
**3 WALL DETAIL**  
1 1/2" = 1'-0"



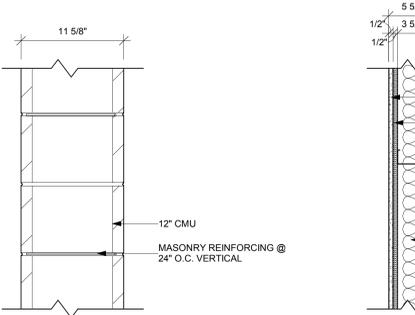
**6 WINDOW HEAD DETAIL**  
1 1/2" = 1'-0"



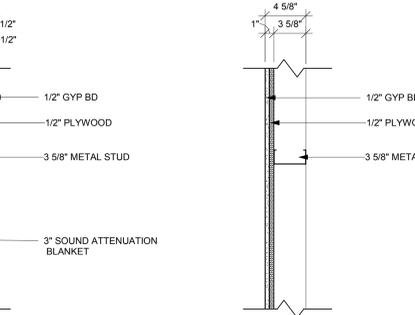
**7 WINDOW SILL DETAIL**  
1 1/2" = 1'-0"



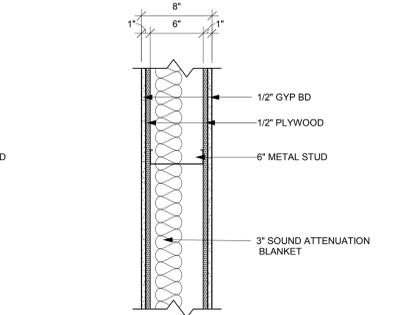
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	R-VALUE	NOTES
A1	1'-4"	1'-4"	1'-4"			



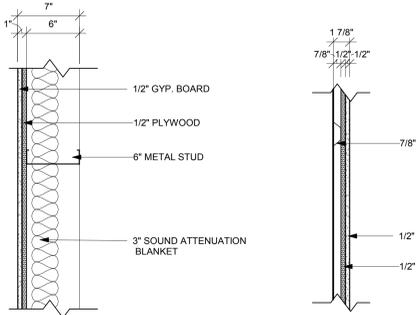
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	R-VALUE	NOTES
A2	16" O.C.	1'-1 7/8"	1'-2"			



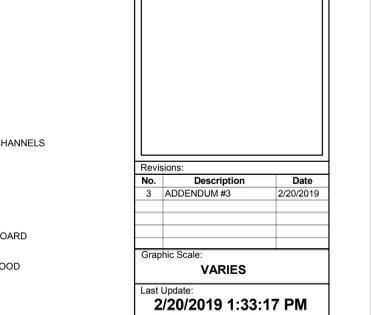
PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
B4	11 5/8"	12"	12"			52



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D14	16" O.C.	5 5/8"	5 5/8"			52



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D15	16" O.C.	4 5/8"	4 5/8"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D16	16" O.C.	8"	8"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D17	16" O.C.	7"	7"			



PARTITION TYPE	STUD WIDTH SPACING	PARTITION WIDTH ACTUAL	PARTITION WIDTH NOMINAL	FIRE RESISTANCE RATING	UL #	STC RATING
D18	16" O.C.	1 7/8"	2"			



HSR ASSOCIATES INC.  
100 MILWAUKEE STREET  
LA CROSSE, WISCONSIN  
PHONE: 608.784.1830  
FAX: 608.782.5844  
WEB SITE: www.hsrasociates.com  
Consultant:

EAU CLAIRE AREA SCHOOL DISTRICT  
MEMORIAL HIGH SCHOOL REMODELING

2225 KEITH ST  
EAU CLAIRE, WISCONSIN

PARTIAL FIRST FLOOR HVAC REMODEL PLANS-REVISED

Project Title: HSR Project Number: 18044

Project Date: JANUARY 2019

Drawn By: DV

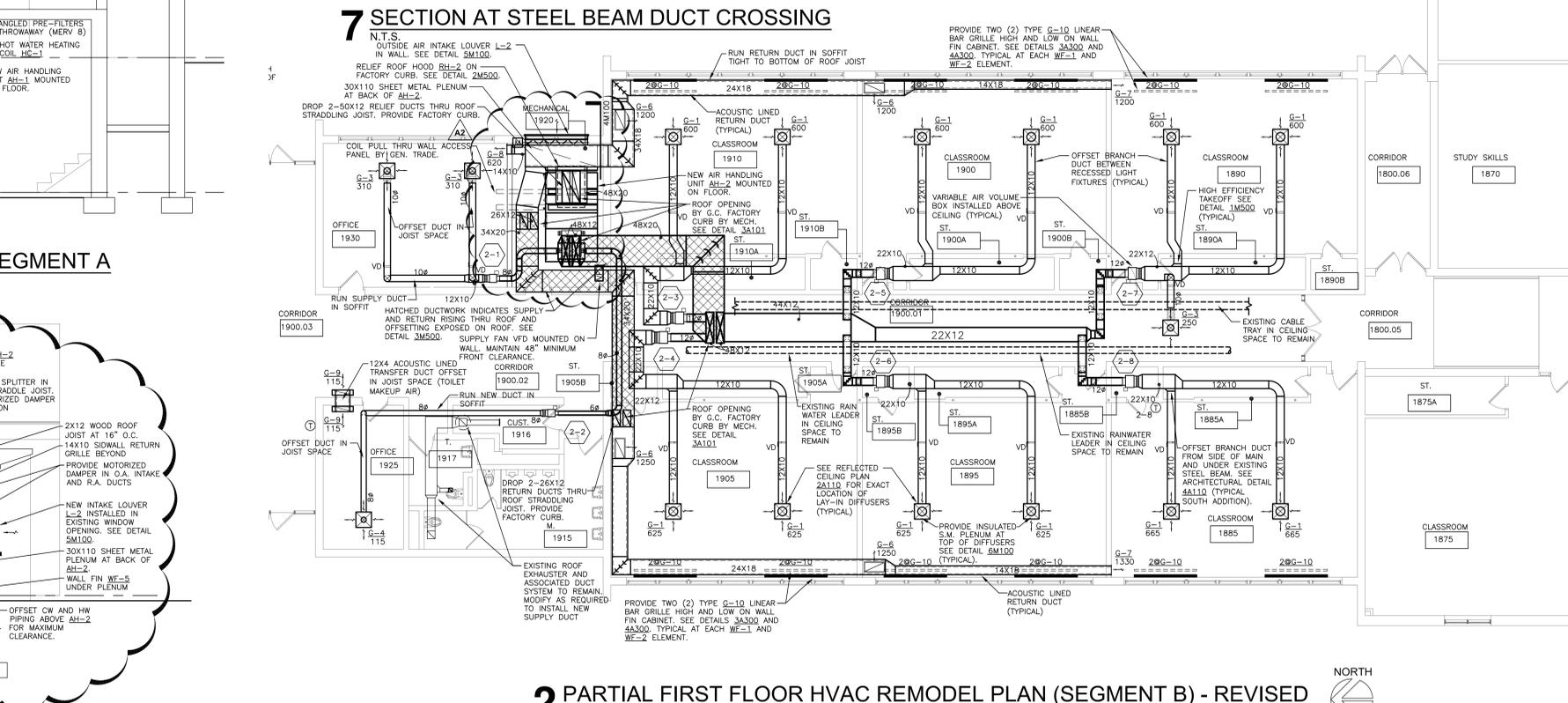
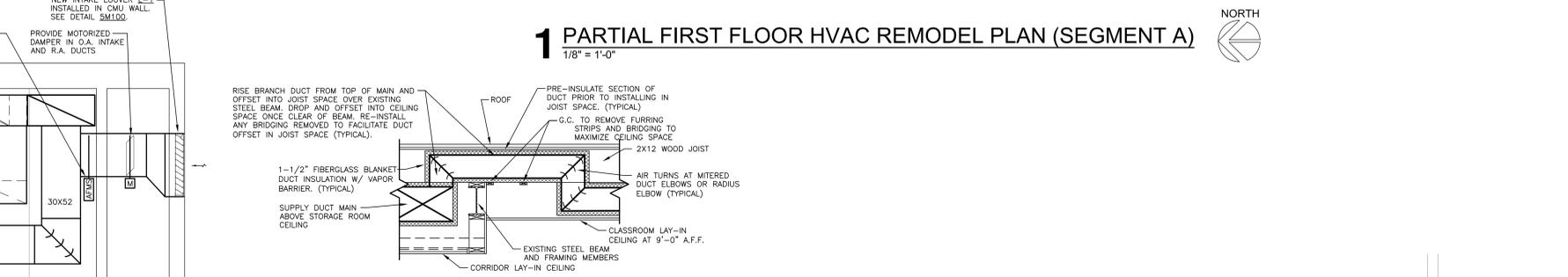
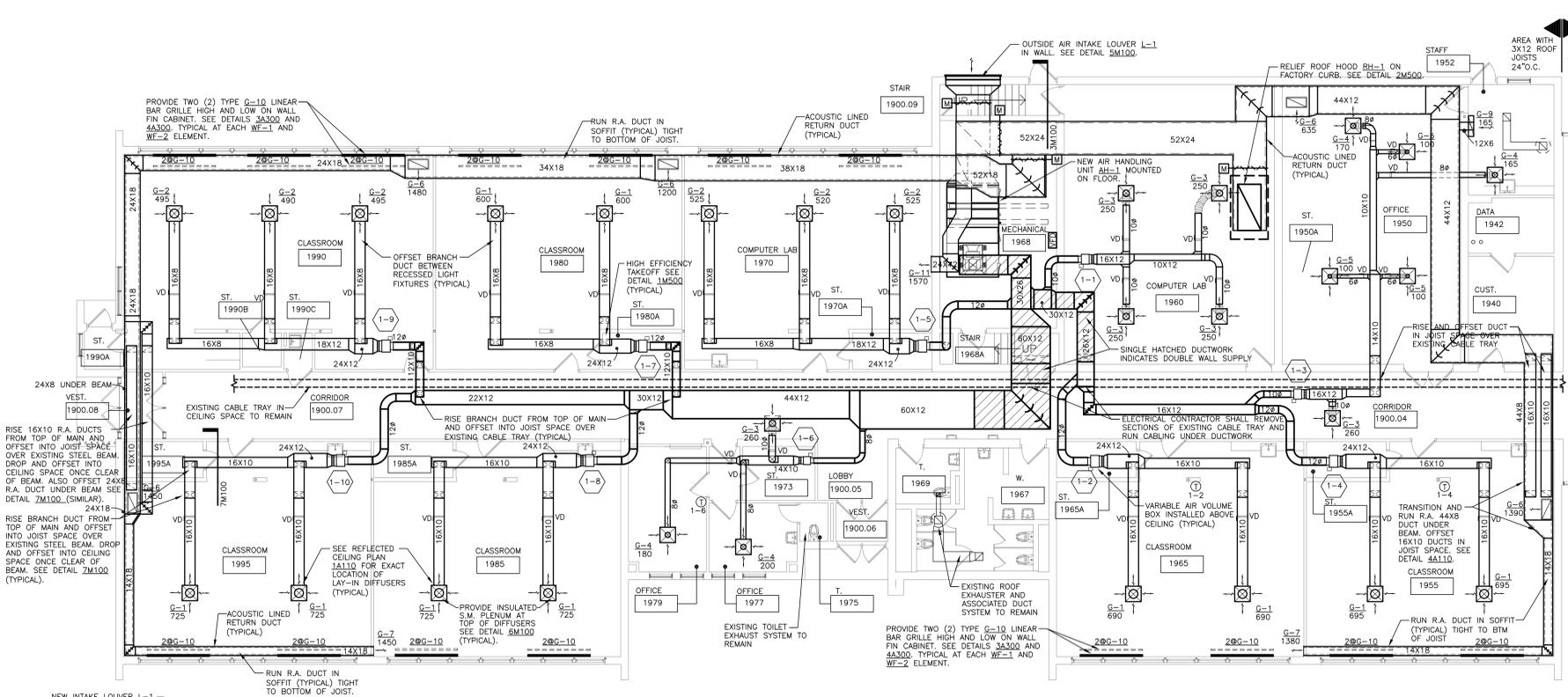
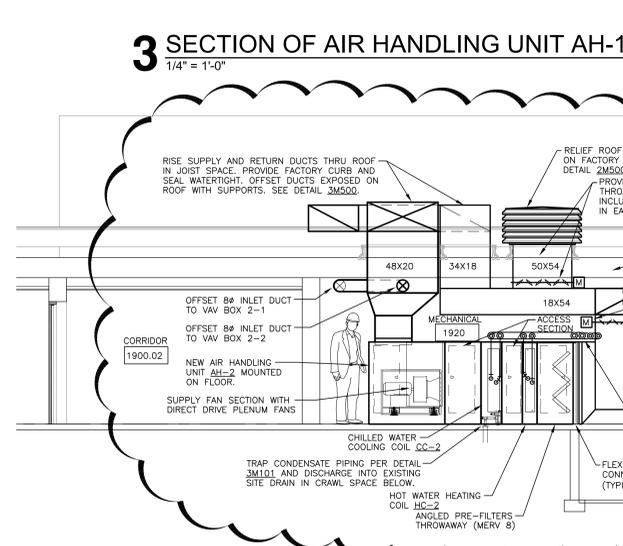
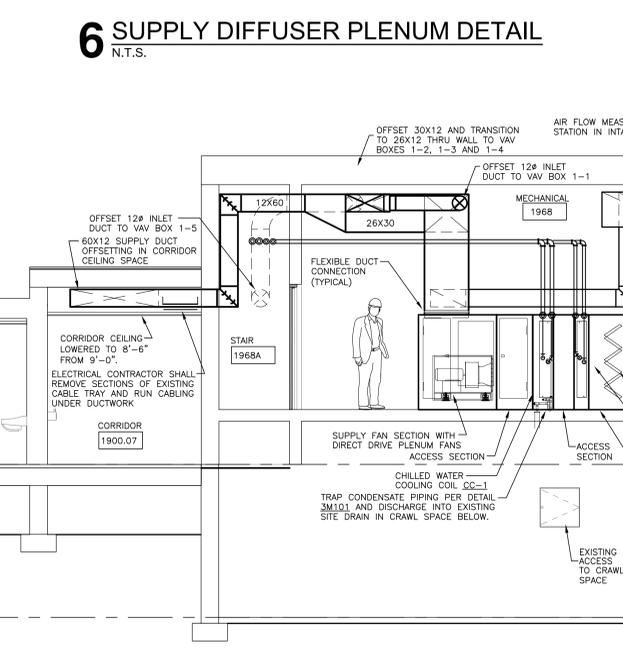
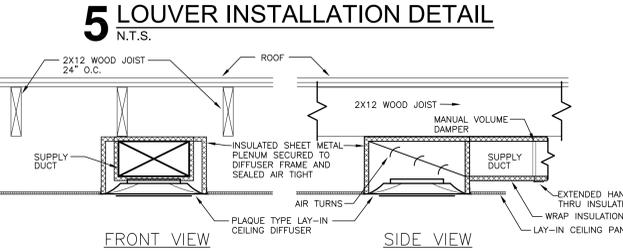
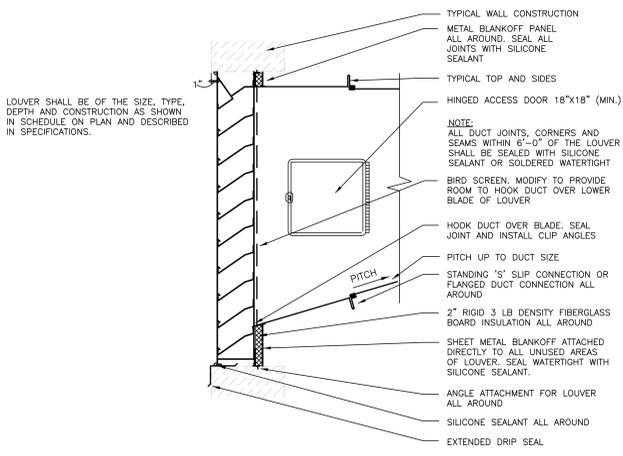
Key Plan:

No.	Description	Date
A2	ADDENDUM #2	02/19/2019

Graphic Scale: VARIES

Last Update: 2/13/2019 3:13 PM

M100R





HSR ASSOCIATES INC.  
100 MILWAUKEE STREET  
LA CROSSE, WISCONSIN  
PHONE: 608.784.1830  
FAX: 608.782.5844  
WEB SITE: www.hsrasociates.com  
Consultant:

EAU CLAIRE AREA SCHOOL DISTRICT  
 MEMORIAL HIGH SCHOOL REMODELING  
 Project Title:  
 HSR Project Number: 18044  
 Project Date: JANUARY 2019  
 Drawn By: DV  
 Key Plan:  
 Project Location: 2225 KEITH ST  
 EAU CLAIRE, WISCONSIN  
 Sheet Title: PARTIAL FIRST FLOOR HVAC PIPING PLANS - REVISED

Project Title:  
HSR Project Number: 18044  
Project Date: JANUARY 2019  
Drawn By: DV  
Key Plan:

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Project Date: JANUARY 2019  
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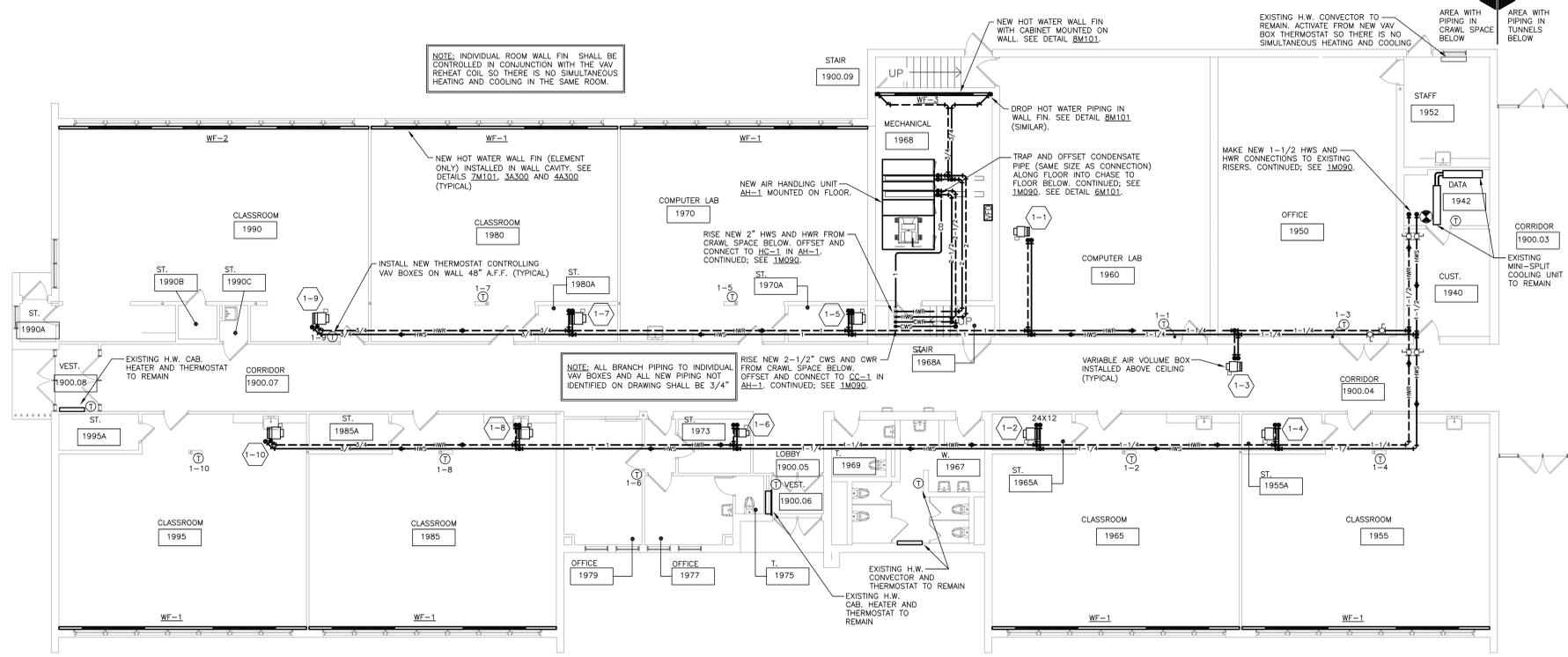
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Drawn By: DV  
Key Plan:

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Key Plan:

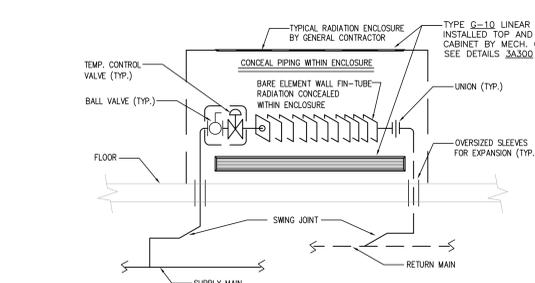
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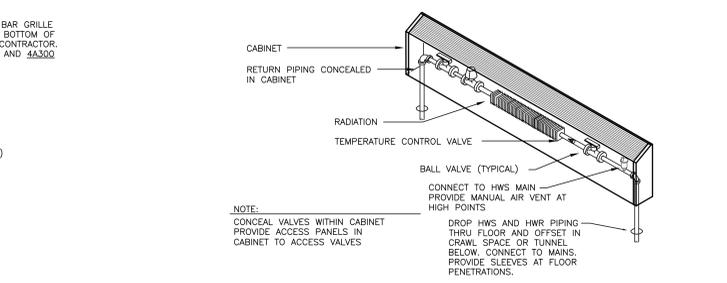
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Project Date: JANUARY 2019  
Drawn By: DV  
Key Plan:



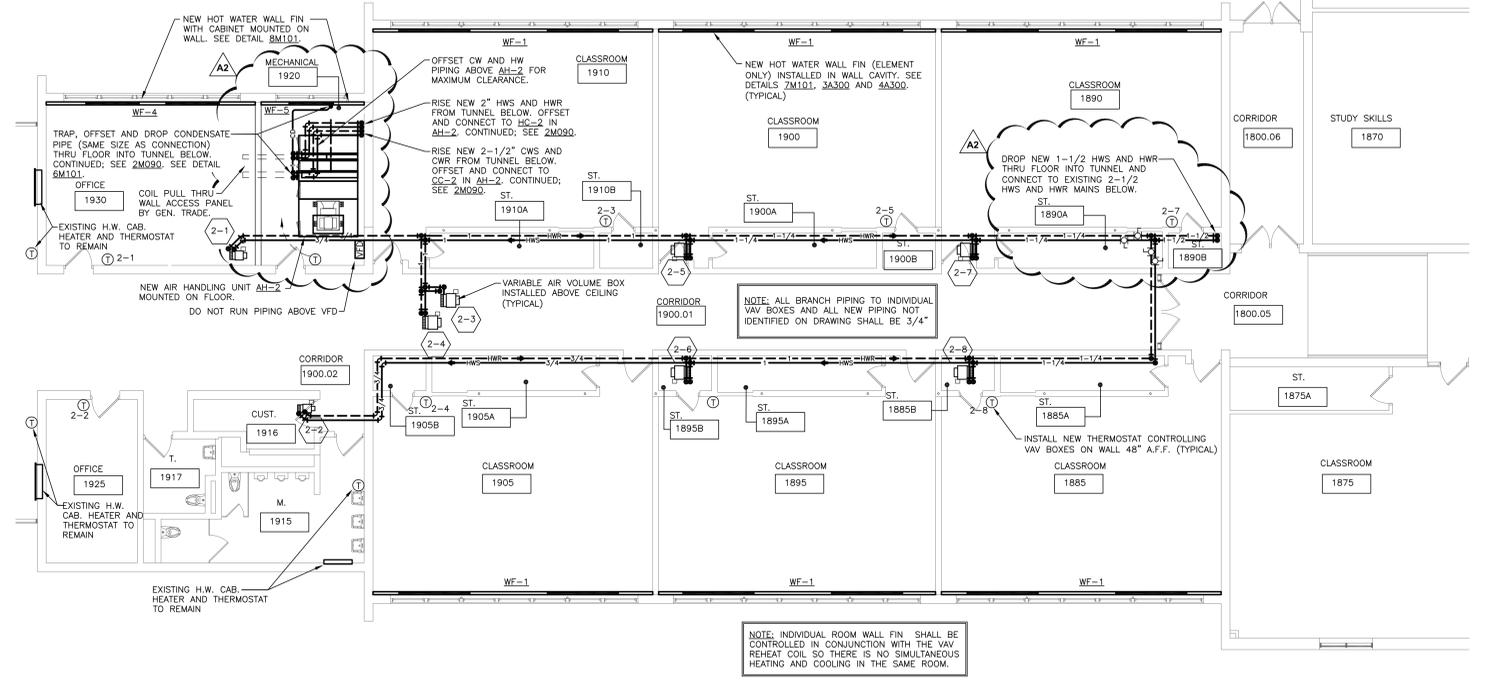
**1 PARTIAL FIRST FLOOR HVAC PIPING PLAN (SEGMENT A)**  
1/8" = 1'-0"



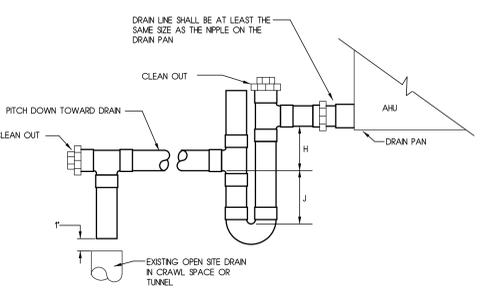
**7 TYPICAL BARE WALL FIN ELEMENT IN CABINET**  
N.T.S.



**8 UPFEED PIPING TO TYPICAL WALL FIN**  
N.T.S.



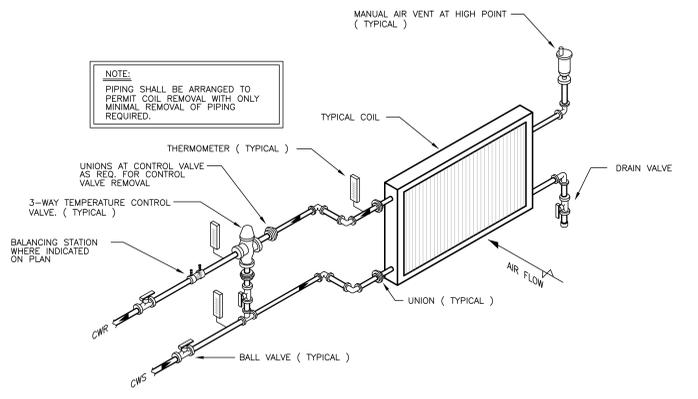
**2 PARTIAL FIRST FLOOR HVAC PIPING PLAN (SEGMENT B) - REVISED**  
1/8" = 1'-0"



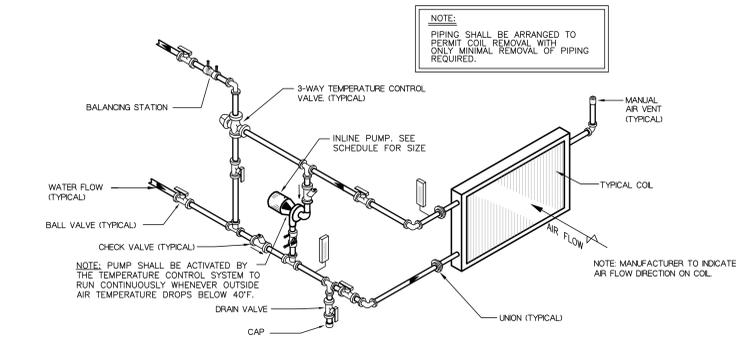
**6 DETAIL AT AHU CONDENSATE DRAIN/TRAP**  
N.T.S.

UNIT TYPE	H	J
DRAW THRU	X + T	(0.5) 00
BLOW THRU	0.5" MN	0.5" + Y

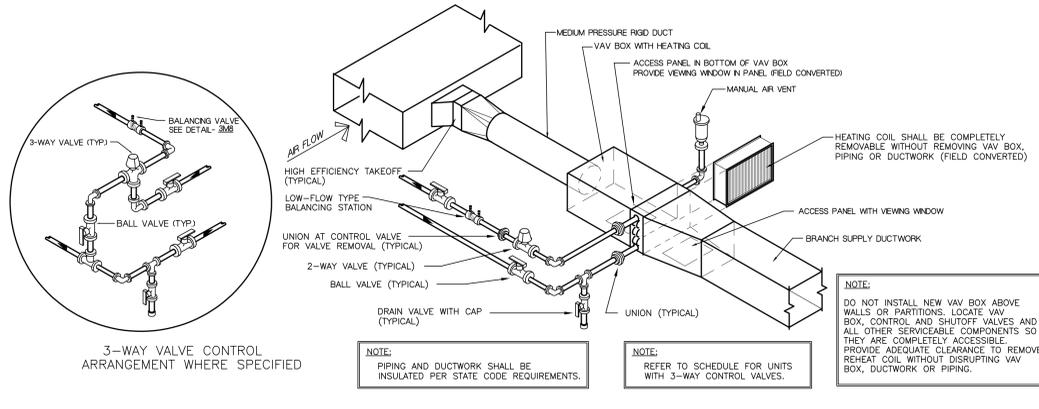
WHERE X = MAXIMUM NEGATIVE PRESSURE  
WHERE Y = MAXIMUM TOTAL STATIC PRESSURE



**5 DETAIL AT AHU C.W. COOLING COIL 3-WAY CONTROL**  
N.T.S.



**4 DETAIL AT AHU H.W. HEATING COIL 3-WAY CONTROL**  
N.T.S.



**3 DETAIL AT TYPICAL VARIABLE AIR VOLUME BOX**  
N.T.S.

